

GENERAL NOTES

1. CONTRACTOR TO REVIEW DRAWINGS BEFORE CONSTRUCTION. CONFLICTS W/ CONTRACTORS STANDARD PRACTICE NEED TO BE BROUGHT TO THE ATTENTION OF MANOLO DESIGN STUDIO LLC & OWNER. CONTRACTOR TO CONFORM TO ALL APPLICABLE BUILDING CODES. APPLY FOR ALL PERMITS AND INSPECTIONS TO COMPLETE WORK AS PER CITY AND UNIFORM BUILDING CODES.
2. CONTRACTOR/OWNER ALTERATIONS OR SUBSTITUTIONS TO THE PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO COORDINATE W/ THE RELEASED DOCUMENTS.
3. ENERGY CALCULATIONS SHALL BE CONDUCTED BY A THIRD PARTY RECOGNIZED BY THE GOVERNING BODY TO DO SUCH SERVICES.
4. ENERGY TESTING SHALL BE CONDUCTED BY A THIRD PARTY RECOGNIZED BY THE GOVERNING BODY TO DO SUCH SERVICES.
5. FOUNDATION SHALL ADHERE TO DESIGN PROVIDED BY STRUCTURAL ENGINEER. STRUCTURAL DRAWINGS INCLUDED IN THIS SET TO ONLY INDICATE THE DIMENSIONAL GUIDELINES TO LAYOUT THE FOUNDATION AND SHOULD BE COORDINATED W/ ARCHITECTURAL SET.
6. HEATING AND COOLING SYSTEM SHALL BE DESIGNED BY INSTALLER. SUPPLY AND RETURN VENTS SHALL ALIGN WITH LIGHT OR CENTER ON WALLS AND CEILING AREAS. THERMOSTATS SHALL BE LOCATED CENTRALLY 10" FROM JAMB OF ADJACENT DOOR TO AVOID CONFLICT WITH FURNISHINGS & TRIM.
7. DO NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT TO VERIFY ANY DIMENSIONS THAT ARE NOT INDICATED.
8. ALL CONSTRUCTION TO COMPLY WITH APPLICABLE BUILDING CODES AND REGULATED AMENDMENTS AND ANY OTHER LAWS, ORDINANCES, REGULATIONS, OR ANY OTHER BODY HAVING JURISDICTION OVER THE PROJECT.
9. CONTRACTOR SHALL USE HIS BEST EFFORTS, SKILLS, JUDGMENT, AND ABILITIES WITH RESPECT TO THE CONSTRUCTION OF THE PROJECT, AND FURTHER THE INTERESTS OF THE OWNER IN ACCORDANCE WITH THE HIGHEST PROFESSIONAL STANDARDS AND ACCEPTABLE METHODS OF CONSTRUCTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF THE WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISHED BUILDING MEETS OR EXCEEDS ALL REQUIREMENTS OF THE 2015 IECC, AND SHALL BE RESPONSIBLE FOR COMPLETING ASSOCIATED SUBMITTALS TO THE AUTHORITY HAVING JURISDICTION SHOULD THE FINISHED BUILDING FAIL TO MEET ANY OF THE REQUIREMENTS OF THE 2015 IECC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES AND RESUBMITTING FOR JURISDICTIONAL REVIEW/ ACCEPTANCE.
11. ANY ERRORS, OMISSIONS, AND INCONSISTENCIES IN DRAWINGS, OR AMBIGUITIES BETWEEN DRAWINGS AND SITE CONSTRUCTION CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR THE OWNER. FAILURE TO NOTIFY THE OWNER AND THE ARCHITECT IN SUCH AN EVENT WILL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARD TO DELAYS, COST, AND LEGAL REMEDIES RESULTING FROM THE OR RELATED WORK.
12. CIVIL, STRUCTURAL, MECHANICAL & LANDSCAPE DRAWINGS ARE PROVIDED BY THE OWNER, OR OTHERS AS AUTHORIZED BY THE OWNER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN ACCURATE SURVEY OF THE FOUNDATION FORM WORK AFTER IT IS ERECTED AND PRIOR TO THE POURING OF CONCRETE, WHICH CERTIFIES THAT THE STRUCTURE IS WITHIN THE ALLOWABLE BUILDING AREA FOR THE PROJECT. PROVIDE ONE COPY EACH TO OWNER & ARCHITECT.
14. EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE WORK SHALL BE ACCORDING TO RECOMMENDATIONS FROM THE ENGINEERED SOILS REPORT (PROVIDED BY THE OWNER), AND ACCEPTABLE PRACTICES OF CONSTRUCTION.
15. CONTRACTOR SHALL VERIFY WITH OWNER ALL INTERIOR AND EXTERIOR FINISHES PRIOR TO PURCHASING AND INSTALLATION.
16. ATTIC AND CRAWLSPACE (IF ANY) VENTILATION SHALL COMPLY WITH LOCAL CODES.
17. ONCE BUILDING IS ENCLOSED WITH FINISHES, NO FOOD OR DRINK SHALL BE ALLOWED IN BUILDING.
18. KEEP DIRT TO A MINIMUM - WALK OFF MATS SHALL BE PROVIDED AT ENTRANCES - MATS SHALL BE CLEANED DAILY
19. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE IN CONTROL OF THE PROJECT SITE AND SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, SCHEDULING, SEQUENCING, JOBSITE SAFETY, AND COMPLIANCE WITH CONTRACT DOCUMENTS AND BUILDING OFFICIAL DIRECTIONS. ACCORDINGLY, ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO DEFEND, INDEMNIFY, AND HOLD HARMLESS OWNER AND ARCHITECT FROM ANY AND ALL CLAIMS, LOSSES, SUITS, DAMAGES, AND LIABILITIES, INCLUDING ATTORNEY'S FEES AND COSTS, ARISING IN ANY WAY FROM SUCH CONTRACTORS' OR SUBCONTRACTORS' SERVICES OR WORK PRODUCT, EXCEPT TO THE EXTENT CAUSED BY ARCHITECT'S SOLE NEGLIGENCE. IN SUPPORT OF THIS OBLIGATION, CONTRACTORS AND SUBCONTRACTORS SHALL INCLUDE OWNER AND ARCHITECT AS ADDITIONAL INSURED UNDER ITS INSURANCE POLICIES APPLICABLE TO THE PROJECT. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DAMAGES, LOSSES, COSTS, OR CLAIMS CAUSED BY CONTRACTORS OR SUBCONTRACTORS, EXCEPT ONLY TO THE EXTENT CAUSED BY ARCHITECT'S SOLE NEGLIGENCE.
20. ARCHITECT SHALL BE ENTITLED TO RELY ON THE ADEQUACY AND ACCURACY OF INFORMATION PROVIDED BY OWNER OR OWNERS CONSULTANTS. ARCHITECT SHALL COORDINATE SUCH INFORMATION SOLELY FOR INTERFACE WITH ITS SERVICES AND SHALL NOTIFY OWNER OF ANY ERRORS ACTUALLY IDENTIFIED IN SUCH INFORMATION. ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE OWNER, CONTRACTORS, OTHER CONSULTANTS AND THEIR RESPECTIVE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS OR ENTITIES PERFORMING WORK ON THE PROJECT WHO ARE NOT UNDER THE DIRECT CONTROL OR AUTHORITY OF ARCHITECT.
21. ALL GENERAL CONDITIONS, SPECIAL REQUIREMENTS OR GENERAL REQUIREMENTS OF THE CONSTRUCTION SPECIFICATIONS OF MATERIAL MANUFACTURERS SHALL APPLY AND BE ADHERED TO.
22. ALL WORK SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS. INDUSTRY STANDARDS SHALL BE AS DETERMINED BY MANUAL OR HANDBOOK OF THE PRIMARY ASSOCIATION OF EACH TRADE. THE MANUALS SHALL INCLUDE, BUT NOT BE LIMITED TO: GYPSUM ASSOCIATION
- APA - ENGINEERED WOOD ASSOCIATION
NATIONAL TILE CONTRACTORS ASSOCIATION
STEEL STUD MANUFACTURERS ASSOCIATION
WESTERN WOOD TRUSS ASSOCIATION
CONCRETE BLOCK ASSOCIATION

23. SHOP DRAWINGS OR DRAWINGS PROVIDED BY OTHERS ARE NOT PART OF THE CONTRACT DOCUMENTS. THEY SHALL BE PREPARED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND THE BUILDER SHALL CERTIFY THE SHOP DRAWINGS.
24. ALL PERMITS AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
25. CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS. DESIGNER AND OWNER SHALL BE NOTIFIED IN ADVANCE OF INSPECTIONS TO THE SITE. THE DESIGNER AND OWNER TO BE PRESENT IF DESIRED.
26. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
27. IT IS THE INTENT OF THE ARCHITECT TO PROVIDE FLEXIBILITY TO THE OWNER IN THE SELECTION OF FIXTURES AND FINISHES. ARCHITECT DOES NOT SELECT SPECIFIC MANUFACTURERS OF PRODUCTS OR FIXTURES UNLESS SUCH PRODUCT HAS A SPECIFIC DESIGN REQUIREMENT OR INTENT, WHERE A SPECIFIC PRODUCT IS SPECIFIED, NO SUBSTITUTIONS OR ALTERNATES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE DESIGNER.
28. VALUE ENGINEERING MAY TAKE PLACE ONLY AFTER AN AWARD OR CONTRACT.
29. WHEN A CONTRACTOR PROPOSES METHODS OF COST REDUCTION (i.e.: VALUE ENGINEERING) OF A PROJECT, SUCH PROPOSALS SHALL INCLUDE THE COST OF REVISIONS REQUIRED BY THE DESIGNER AND/OR ENGINEERS. THE FEES INCURRED BY THE DESIGNER AND/OR ENGINEER SHALL BE PAID FOR BY THE OWNER.
30. WHEN VALUE ENGINEERING ANY PROJECT OR PART OF ANY PROJECT, THE CONTRACTOR SHALL DOCUMENT EACH COMPONENT COST IN A SCHEDULE THAT IS PROVIDED TO THE OWNER FOR REVIEW. THE SCHEDULE SHALL SHOW THE COST OF CONSTRUCTION PRIOR TO AND AFTER VALUE ENGINEERING AND SHALL INCLUDE ADDITIONS AND REDUCTIONS OF BOTH MATERIALS AND LABOR FOR EACH ITEM.
31. THE VALUE ENGINEERING SCHEDULE SHALL INCLUDE ALL TRADES AFFECTED.
32. ADJACENT PROPERTIES, STREETS AND WALKS ARE TO BE PROTECTED FROM DAMAGE AT ALL TIMES.
- 2015 INTERNATIONAL BUILDING CODE W/ AMD.
2015 INTERNATIONAL PLUMBING CODE W/ AMD.
2015 INTERNATIONAL MECHANICAL CODE W/ AMD.
2014 NATIONAL ELECTRICAL CODE W/ AMD.
2015 INTERNATIONAL RESIDENTIAL CODE W/ AMD.
2015 INTERNATIONAL RESIDENTIAL EXISTING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ AMD.
2015 INTERNATIONAL FUEL AND GAS CODE W/ AMD.
2015 INTERNATIONAL GREEN CONSTRUCTION CODE W/ AMD.
- 2015 IECC PRESCRIPTIVE REQUIREMENTS (INTCOG AMENDED)
- INSULATION (MIN.)
ATTIC: R-36
NO ATTIC: R-30
2X4 WALLS: R-13+3 (R-13 CAVITY + R+3 INSULATING SHEATHING)
2X6 WALLS: R-19
UNDERFLOOR OVER UNCONDITIONED SPACE: R-19
- FENESTRATION (MAX.)
WINDOWS & GLASS DOORS: U-FACTOR 0.35, SHGC 0.25
SKYLIGHTS: U-FACTOR 0.55, 0.25 SHGC
- MECHANICAL SYSTEMS (MIN.)
14 SEER
SUPPLY DUCTS IN UNCONDITIONED SPACE: R-6
RETURN DUCTS IN UNCONDITIONED SPACE: R-4
REFRIGERANT PIPING: R-3
HOT WATER PIPING: R-3
- LIGHTING
75% OF THE PERMANENTLY INSTALLED LIGHT FIXTURES TO HAVE HIGH EFFICIENCY LAMPS (CFL OR LED)

FRAMING NOTES

1. UTILIZATION OF FOLLOWING CHECKLIST DOES NOT RELIEVE THE CONTRACTOR OF MEETING ALL OF REQUIREMENTS OF THE LAW. IT IS INCUMBENT ON ANYONE PERFORMING RESIDENTIAL CONSTRUCTION TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE ASPECTS OF THE CURRENT BUILDING CODE TO ASSURE THAT STRUCTURES THEY ARE BUILDING MEET THE CURRENT BUILDING CODE.
2. ALL FRAMING SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2015 EDITION.
3. ALL WOOD FRAMING AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFA, THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND SHALL MEET THE REQUIREMENTS OF THE IRC. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE IRC.
4. ALL FRAMING LUMBER SHALL BE NO2 OR BETTER SOUTHERN PINE. ALL STUD WALLS AND PARTITIONS ARE 2X6 @ 16" O.C. UNLESS OTHERWISE NOTED (REF. ENGINEER DWGS). ALL PLUMBING WALLS ARE 2X6 @ 16" O.C. BLOCK. ALL STUD WALLS AT MID HEIGHT.
5. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. RAMSET BOTTOM PLATE OF STUD WALLS TO CONCRETE WITH 1/4" RAMSETS @ 16" O.C. EXTERIOR BASE PLATES SHALL BE ANCHORED @ 24" O.C. W/ MIN. 1/2" X 10", MIN. EMBEDMENT OF 8". ANCHOR BOLTS USING 3"x3" WASHER, ONE ANCHOR BOLT SHALL BE WITHIN 6" TO 12" OF EACH PLATE AND WITHIN 12" OF ALL CORNERS. PROVIDE HOLD DOWN ANCHORS AT ENDS OF ALL SHEAR PANELS/WALLS. ALSO SEE NOTE 12.
6. WOOD CROSS BRIDGING, BLOCKING, AND BRACING SHALL BE PROVIDED PER BUILDING CODE.
7. GABLE ENDS TO ALL STUD WALLS PARALLEL TO FRAMING BELOW.
8. GABLE ENDS TO BE BUILT SIMILAR TO AND CONNECTED WITH WALL STUDS BELOW. BRACE GABLE ENDS AGAINST LATERAL LOADS.
9. PROVIDE APA RATED 4"x8"x1/2" PLYWOOD WIND BRACING ON ALL EXTERIOR WALLS FROM SLAB TO UNDERSIDE OF RAFTERS.
10. JOIST HANGERS SHALL BE 16 GA. TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIES CO OR EQUIV. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR JOIST AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE SAME SIZE AS THE MEMBER SUPPORTED.
11. PLYWOOD SUBFLOORING SHALL BE APA RATED 48/24, 3/4" THICK TONGUE & GROOVE.
12. ROOF SHEATHING SHALL BE OSB. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS. NAILS TO BE EITHER 8D COMMON OR 10D BOX NAILS. MAXIMIZE SPACING FOR SHEATHING NAILING
13. WITHIN 4" OF EXTERIOR WALLS, RIDGES OR HIPS TO 6 AT SHEATHING EDGES AT EACH RAFTER. ALL OTHER SHEATHING TO BE NAILED AT 6" O.C. AT EDGES AND A 12" O.C. IN THE CENTER OF THE SHEATHING PANELS. SHEATHING AT GABLE RAKES SHALL BE NAILED AT 4" O.C. AT OUTLOOK BLOCK & AT SOLID BLOCKING OVER GABLE STUD TOP PLATE.

12. ALL BORED HOLES SHALL BE 2" CLEAR FROM THE TOP OF BOTTOM EDGES OF JOIST, NOT LARGER THAN 1 1/4" DIA AND NOT IN THE MIDDLE OF A SPAN.
13. ALL STUDS CUT AWAY FOR PLUMBING SHALL BE STRAPPED WITH 1 1/2" WIDE, NO. 24 GAUGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL AND SPIKED TO PLATES.
14. ALL FRAMING SHALL BE COORDINATED WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
- DEMOLITION NOTES
1. THE NATURE OF THE DEMOLITION PLANS IS TO IDENTIFY THE GENERAL NATURE OF DEMOLITION SCOPE. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING THE EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION SCOPE OF WORK WITH NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES ASSOCIATED WITH DEMOLITION SCOPE OF WORK AND NEW CONSTRUCTION.
4. THE CONTRACTOR SHALL CONSULT WITH STRUCTURAL ENGINEER BEFORE DEMOLITION OF ANY STRUCTURAL MEMBERS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING NECESSARY DURING DEMOLITION AND CONSTRUCTION.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, AND WINDOWS TO REMAIN WITHIN DEMOLITION SCOPE OF WORK FROM DAMAGE DUE TO CONSTRUCTION AND DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING/REPAIRING ANY DAMAGED FINISHES, DOORS, FRAMES, AND WINDOWS TO MATCH EXISTING.
6. PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS, AND FLOORS DISTURBED FOR NEW WORK AND FINISH.
7. ALL WALL FINISHES TO BE REMOVED SHALL BE REMOVED TO FACE OF STUD.
8. THE CONTRACTOR SHALL PROTECT ALL INTERIOR SPACES FROM DAMAGE DUE TO WEATHER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING/REPAIRING ANY DAMAGE DUE TO WEATHER.
9. COORDINATE WITH OWNER RELOCATION OF ANY FURNISHINGS DURING CONSTRUCTION.
10. THE CONTRACTOR IS TO MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND AREAS OUTSIDE OF THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES AND/OR TEMPORARILY TAPING OF JOINTS AND GAPS TO PREVENT DUST MIGRATION.
11. DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIAL AWAY FROM THE SITE, COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
12. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND REMOVE ANY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT NECESSARY TO COMPLETE THE DEMOLITION SCOPE OF WORK REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
13. THE OWNER HAS FIRST RITE OF REFUSAL FOR ALL SALVAGED ITEMS. ITEMS NOT CLAIMED BY THE OWNER BECOME THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE DEPOSED OF FROM THE SITE.
14. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON-SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, AND NOTIFY THE OWNER AND ARCHITECT.
15. EXISTING CONSTRUCTION MAY CONTAIN ASBESTOS CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF ASBESTOS. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
16. EXISTING CONSTRUCTION MAY CONTAIN LEAD CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN LEAD MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF LEAD. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
17. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH APPLICABLE CODES.

FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO CENTER LINE OF STUD OR EXTERIOR FACE OF BRICK/FOUNDATION.
2. DIMENSIONS TO ROUGH PLUMBING LOCATIONS ARE TO CENTERLINES OF WALL AND ARE INDICATED AS SUCH.
3. GUIDE TO ROUGH-IN PLUMBING, QUANTITY AND SIZE OF PLUMBING STACKS ARE NOT DETERMINED BY FOUNDATION PLUMBING LAYOUT. ROUGH-IN FOR FIXTURES , SHOWERS, AND OTHER REQUIRED SLAB LEAVE OUTS SHOULD BE VERIFIED BY THE PLUMBER BEFORE ROUGH-IN.
4. WINDOWS NOTED ON PLANS NEED TO BE VERIFIED BY FRAMER BEFORE FRAMING TO MAKE SURE WINDOWS ORDERED, AND CURRENT MANUFACTURERS DIMENSIONS ARE ACCURATELY NOTED.
4. WINDOWS SPECIFIED NEED TO BE CHECKED BY CONTRACTOR TO BE SURE CURRENT MANUFACTURING DIMENSIONS EGRESS REQUIREMENTS IN ALL SLEEPING ROOMS.
5. WOOD STUD WALLS 2X4'S @ 16" O.C. TO MAXIMUM HEIGHT OF 11 OR 12 FEET SUPPORTING ONE FLOOR, ROOF, AND CEILING, WALL HEIGHTS EXCEEDING 10 FEET REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING. ALL FLOOR PLAN ANGLES ARE 90 OR 45 DEGREES UNLESS OTHERWISE NOTED. EXTERIOR WALLS, WALLS WITH POCKET DOORS, AND WALLS BEHIND WATER CLOSETS SHALL BE 2X6 STUD WALLS.
6. VENT CLOTHES DRYER AND ALL KITCHEN & BATHROOM EXHAUST FANS TO OUTSIDE.
7. CLEAN INSIDE ALL WALLS @ BASE TRACK W/ VACUUM PRIOR TO CLOSING WALLS.
8. FIELD VERIFY LOCATION OF ALL EXISTING WALLS AS LOCATIONS MAY DIFFER FROM THOSE SHOWN ON EXISTING PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. VERIFY WOOD SPECIES WITH ARCHITECT IN ALL LOCATIONS WHERE NATURAL OR STAINED WOOD FINISH IS VISIBLE. STAINED WOOD FINISH FLOORING SHALL MATCH STAINED WOOD TRIM TYPICAL, U.N.O.
10. ALL GWB SHALL BE 5/8" THICK UNO.
11. JOINTS ABUTTING EXISTING WALLS ARE TO BE TAPED AND FINISHED.
12. CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR ALL MILL WORK AND EQUIPMENT INSTALLATION.
13. INTERIOR PARTITION WALLS ARE FRAMED WITH 2X6 STUDS UNLESS NOTED OTHERWISE.
14. REFER TO POCKET DOOR FRAME KIT FOR INSTALLATION INSTRUCTIONS TO DETERMINE ROUGH OPENING OF POCKET DOOR. COORDINATE W/ ARCH.
15. CEILING HEIGHT NOTED FOR EACH ROOM IS TO FINISHED FACE OF CEILING.

ROOF PLAN NOTES

1. PROTECT EXISTING ROOFS FOR DURATION OF WORK
2. CONTINUOUS FULLY-ADHERED ROOFING MEMBRANE TO BE APPLIED SHINGLE STYLE OVER ENTIRE ROOF INCLUDING OVERHANGS AT EAVES AND RAKES AND OVER PORCHES AND BREEZEWAY.
3. CONTINUOUS FULLY-ADHERED ROOFING MEMBRANE TO BE EXTENDED MIN. 12" UP/ DOWN EXTERIOR WALL SHEATHING AT ALL ROOF-WALL INTERSECTIONS

- EXCEPT WHERE PORCH OR BREEZEWAY ROOF MEETS WALL.
4. ADDITIONAL STRIP OF FULLY-ADHERED ROOFING MEMBRANE TO BE APPLIED AT ALL ROOF-WALL INTERSECTIONS EXTENDING MIN. 12" OVER ROOF MEMBRANE AND 12" UP FACE OF WALL INSULATION SHEATHING.
- ELEVATION NOTES
1. ALL SIDING SHALL BE OF SMOOTH TYPE UNLESS NOTED OTHERWISE.
2. SEALANT AT EXPANSION JOINTS SHALL MATCH ADJACENT WALL COLOR.
3. ALL STOREFRONT MULLIONS ARE 2" NOMINAL UNLESS NOTED OTHERWISE.
4. ALL GLAZING IS LOW "E" UNLESS NOTED OTHERWISE.
5. WINDOWS NOTED ON PLANS NEED TO BE VERIFIED BY FRAMER BEFORE FRAMING TO MAKE SURE WINDOWS ORDERED, AND CURRENT MANUFACTURERS DIMENSIONS ARE ACCURATELY NOTED.
6. WINDOWS SPECIFIED NEED TO BE CHECKED BY CONTRACTOR TO BE SURE CURRENT MANUFACTURING DIMENSIONS EGRESS REQUIREMENTS IN ALL SLEEPING ROOMS.
7. METAL VINYL OR ADHESIVE FLASHING SHALL BE INSTALLED AT HORIZONTAL WALL TRIM, OPENINGS, AND TERMINATIONS OF SIDING. EXPOSED FLASHING SHALL BE PAINTED TO MATCH ADJACENT TRIM.
8. ALL NECESSARY ROOF PENETRATIONS & VENTING SHALL BE OUT OF SIGHT FROM FRONT & REAR ELEVATION IF POSSIBLE.
- CABINETRY NOTES
1. SCRIBE ALL CABINETRY TO THE WALL & FLOORS.
2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR OWNER AND DESIGNER APPROVAL.
3. INSTALL ELECTRICAL PLUGS UNDER ALL UPPER CABINETRY IN KITCHEN AND BUTLER'S PANTRY, U.N.O.
4. A THIN VALENCE TO BE ADDED TO BOTTOM OF UPpers WHERE OUTLETS AND/OR UNDER CABINET LIGHTING IS SPECIFIED.
5. ALL CABINETS SHALL HAVE A 1/8" REVEAL.
6. NO SCREEN MOLD.
7. FIELD VERIFY ALL MEASUREMENTS BEFORE MANUFACTURING AND INSTALLATION.
8. PROVIDE REQ'D BLOCKING FOR ALL WALL CABINET INSTALLATION.
9. PROVIDE ADDITIONAL SUPPORT ARE AT WORK SURFACES AS REQUIRED. SUPPORTS ARE TO BE DISCREET AND SHOULD BE CONCEALED IF POSSIBLE. ALL EXPOSED SIDES TO BE FINISHED TO MATCH ADJACENT.
10. ELECTRICAL DEVICES ARE SHOWN FOR COORDINATION PURPOSES ONLY. REF. ELECTRICAL CONTACT ARCHITECT FOR COORDINATION.
11. ALL MILLWORK BRACKETS AT WET LOCATIONS SHALL HAVE ROUGH-INS EXTENDED SO COVER PLATE WILL MOUNT TO INSIDE FACE OF CABINET.
12. CAULK AT ALL COUNTERS AND BACKSPLASHES AS REQUIRED. COLOR MATCH CAULK, UNO.
13. OUTLETS AND NEETS SHALL BE LOW VENTS, ETC. ARE TO BE GRG TYPE - REF. ELECTRICAL.



GENERAL DESCRIPTION OF WORK

NEW SINGLE FAMILY RESIDENCE LOCATED IN THE PROPERTY @ 3025 BRYN MAWR DR. IN THE CITY OF UNIVERSITY PARK, TX 75225 (BLOCK 10, LOT 1).

SCOPE OF WORK: SINGLE FAMILY, 2-STORY COUNTRY HOME OF APPROXIMATELY 7,153 SQ.FT. UNDER ROOF W/ 5,974 SQ.FT. BEING LIVABLE AIR CONDITIONED SPACE.

THE RESIDENCE HAS 5 BEDROOMS, 5-1/2 BATHROOMS, A 3-CAR GARAGE, AND A POOL. THE LOT IS 11,200 SQ.FT.

THIRD PARTY GREEN & ENERGY CERTIFICATES TO BE PROVIDED BY G.C. AS REQUESTED BY THE CITY.

SCOPE OF WORK CALCULATIONS

TOTAL STRUCTURE	7,153 SQ.FT.
NEW A.C. SQ.FT.	5,974 SQ.FT.
NEW GARAGE SQ.FT.	857 SQ.FT.
NEW PORCH SQ.FT.	322 SQ.FT.
TOTAL LOT SQ.FT.	11,200 SQ.FT.

FIRE SPRINKLER NEEDED: YES

PROJECT TEAM

ARCHITECTURE & INTERIOR DESIGN

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STRUCTURAL ENGINEER

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CONTRACTOR

TBD

T: TBD

DRAWING ABBREVIATIONS

A.F.F.	above finished floor	DW	dishwasher	JB	junction box
A/C	air conditioned	DWG	drawing	J	long
ADJ.	adjustable	DWR	drawer	L	laminate
AL	aluminum	ELEC	electric	LAV	lavatory
ARCH	architectural	ELEV	elevation	LT	lights
B.O.	bottom of	EQ	equal	M	meter
B/N	between	EQUIP	equipment	MANUF	manufacturer
BD	board	E.S.T	estimated	MAX	maximum
BLDG	building	F.F.E	finishes, fixtures & equipment	MECH	mechanical
CAB	cabinet	FL	floor	MIN	minimum
CJ	control joints	FN	finish	MISC	miscellaneous
CL	center line	FR	freezer	MM	millimeter
CLG	ceiling	FT	feet	MR	mirror
CLO	closet	GC	general contractor	MTL	metal
CM	centimeter	GFO	ground fault interpreter	MW	microwave
COL	column	GL	glass	N	north
CONC	concrete	GYP	gypsum	N.I.C.	not in contract
CONT	continuous	GWB	gypsum wallboard	N.T.S.	not to scale
COORD	coordinate	H	high	N/A	not applicable
CORR	corridor	HB	hose bib	O.H.	overhead
CW	cold water	H.C.	handicapped	OPP	opposite
D	deep	HOR	horizontal	P	provided by owner
D.S.	down spout	HT	height	PLAS	plate
DBL	double	HVAC	heating ventilation + air conditioning	PW	plywood
DIA	diameter	HW	hot water	PWDR	powder
DIM	dimension	IN	inch	QTY	quantity
DN	down	INSUL	insulation	R	radius
DT	detail	INT	interior		

REF	reference	RCP	reflected ceiling plan	UTL	utility
REQ	required	V.I.F.	verify in field	VEST	vestibule
REV	revisions	W	wide	W.C.	water closet
EM	room	W.H.	water heater	WD	wood
SQ.F.T.	square footage	WP	water proof	WR	water resistant
SCHED	schedule	WRM	warming	WSCOT	wainscot
SD	smoke detector	YD	yard		
SHLVS	shelves				
SIM	similar				
SP	speaker				
SPEC	specification				
SQ	sprinkler				
SS	solid surface				
ST	stone				
STD	standing				
STL	steel				
STO	stone				
STRUCT	structure				
T	tile				
T.O.	top of				
TEL	telephone				
TV	television				
TYP	typical				
U.C.	under counter				
U.M.	under mount				
U.N.O.	unless otherwise noted				

MANUF	manufacturer	MANUF	manufacturer
MAX	maximum	MAX	maximum
MECH	mechanical	MECH	mechanical
MIN	minimum	MIN	minimum
MISC	miscellaneous	MISC	miscellaneous
MM	millimeter	MM	millimeter
MR	mirror	MR	mirror
MTL	metal	MTL	metal
MW	microwave	MW	microwave
N	north	N	north
N.I.C.	not in contract	N.I.C.	not in contract
N.T.S.	not to scale	N.T.S.	not to scale
N/A	not applicable	N/A	not applicable
O.H.	overhead	O.H.	overhead
OPP	opposite	OPP	opposite
P	provided by owner	P	provided by owner
PLAS	plate	PLAS	plate
PW	plywood	PW	plywood
PWDR	powder	PWDR	powder
QTY	quantity	QTY	quantity
R	radius	R	radius

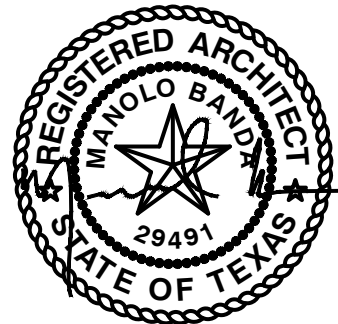
REF	reference	RCP	reflected ceiling plan	UTL	utility
REQ	required	V.I.F.	verify in field	VEST	vestibule
REV	revisions	W	wide	W.C.	water closet
EM	room	W.H.	water heater	WD	wood
SQ.F.T.	square footage	WP	water proof	WR	water resistant
SCHED	schedule	WRM	warming	WSCOT	wainscot
SD	smoke detector	YD	yard		
SHLVS	shelves				
SIM	similar				
SP	speaker				
SPEC	specification				
SQ	sprinkler				
SS	solid surface				
ST	stone				
STD	standing				
STL	steel				
STO	stone				
STRUCT	structure				
T	tile				
T.O.	top of				
TEL	telephone				
TV	television				
TYP	typical				
U.C.	under counter				
U.M.	under mount				
U.N.O.	unless otherwise noted				

DRAWING SHEET INDEX

SHEET NUMBER SHEET TITLE

ARCHITECTURE

G1.1	TITLE SHEET	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A0.1	SITE PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A0.2	RIGHT-OF-WAY PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A0.3	ENERGY CODE COMPLIANCE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.0	SLAB PLAN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.1	1ST FLOOR PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.2	2ND FLOOR PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.3	1ST FLOOR REFLECTED CEILING PLAN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.4	2ND FLOOR REFLECTED CEILING PLAN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.5	ROOF PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.6	1ST FLOOR FINISH PLAN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A1.7	2ND FLOOR FINISH PLAN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A2.1	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A2.2	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A3.1	BUILDING SECTIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A3.2	SECTION DETAILS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A4.1	ENLARGED DETAILS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
A4.2	ENLARGED DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
A5.1	INTERIOR DETAILS: TYPICAL WALL TYPES & DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
A5.2	INTERIOR DETAILS: TYPICAL DOOR DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
A5.3	INTERIOR DETAILS: TYPICAL WINDOW DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
A6.1	WINDOW & DOOR SCHEDULES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
E1.1	1ST FLOOR LIGHTING PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
E1.2	2ND FLOOR LIGHTING PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
E1.3	1ST FLOOR POWER PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
E1.4	2ND FLOOR POWER PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
INTERIORS						
ID1.1	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ID1.2	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ID1.3	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ID1.4	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ID1.5	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ID1.6	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ID1.7	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		



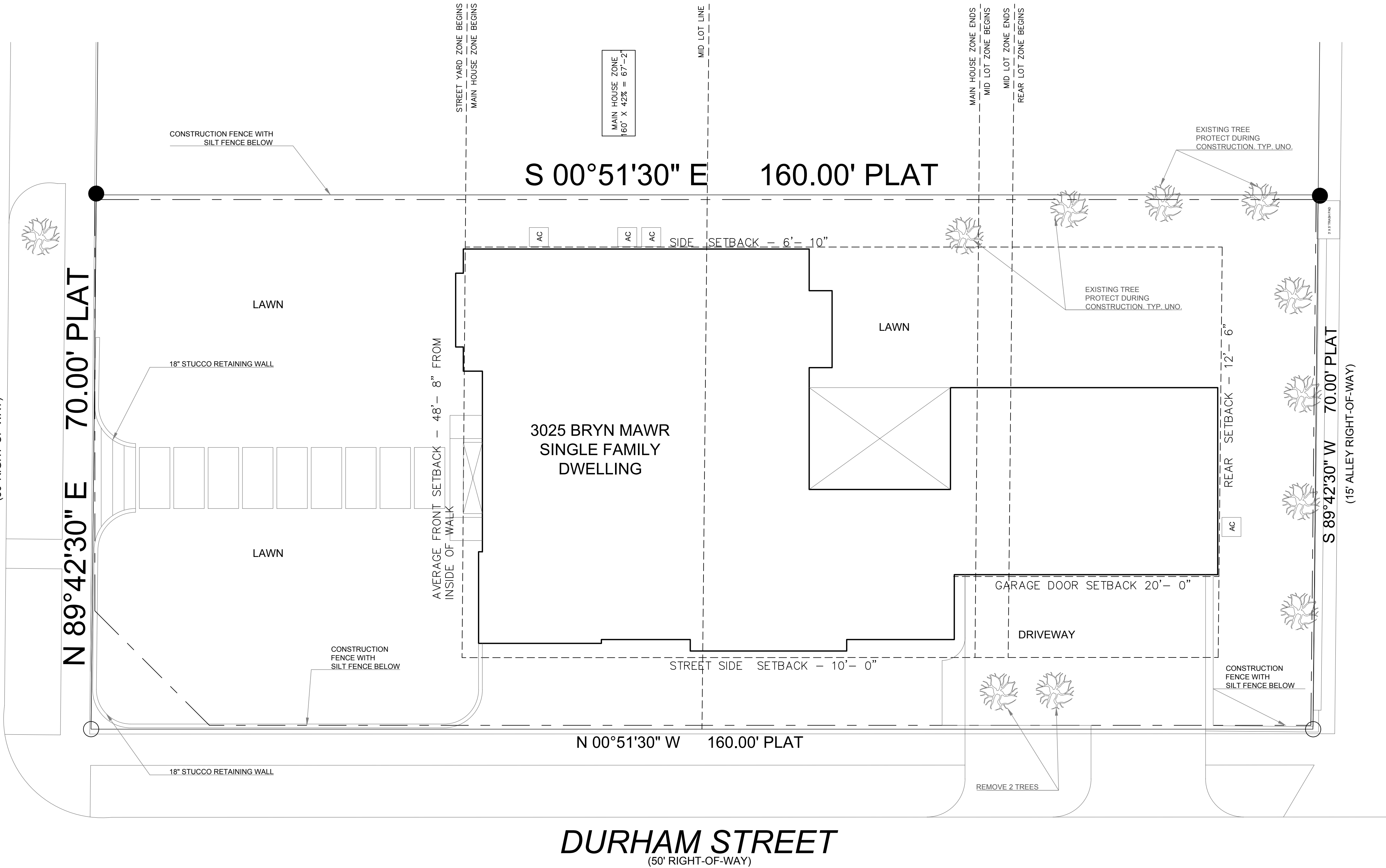
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PERMIT		2023.04.25
CD SET		2023.06.28
DRAWN BY: EG		
PROJECT NO: 22014		
PROJECT ISSUE DATE: 23.06.28		
DRAWING TITLE:		

SITE PLAN

SCALE: As indicated

DRAWING NUMBER:

A0.1



LOT COVERAGE IMPERMEABLE CALCULATIONS

TOTAL LOT AREA 11,200 SQ.FT.

IMPERMEABLE AREAS

HOUSE & PORCH	3,794 SQ.FT.
FRONT WALKWAYS, WALL, ENTRY	468 SQ.FT.
REAR DRIVEWAY	637 SQ.FT.
AC PADS	25 SQ.FT.
BAY WINDOW OVERHANG	23 SQ.FT.
TRASH INSERT	15 SQ.FT.

TOTAL 4,962 SQ.FT.

STREET-YARD ZONE IMPERMEABLE CALCULATION

TOTAL AREA	3,396 SQ.FT.
STEPS @ RETAINING WALL	67 SQ.FT.
RETAINING WALL	43 SQ.FT.
PADS	288 SQ.FT.
ENTRY	70 SQ.FT.
BAY WINDOW OVERHANG	23 SQ.FT.

TOTAL 491 SQ.FT.

CALCULATION: 491 SQ.FT. / 3,396 SQ.FT. = 14.46%
MAX. ALLOWED IMPERMEABLE %: 50%

FRONT SETBACK ENCROACHMENT

BUILDING ELEMENTS ALLOWED PURSUANT TO THE FRONT FACADE ARTICULATION PROVISIONS OF SECTION 2.4.9.

TOTAL FRONT FACADE WIDTH (100%): 51'-8"

FRONT FACADE ARTICULATION (MAX. 60% OF FRONT FACADE): 16'-0" (31%)

MID-LOT TO REAR-LOT BUILDING COVERAGE CALCS.

TOTAL AREA 5,601 SQ.FT.

BUILDING COVERAGE 2,210 SQ.FT.
CALCULATION: 2,210 SQ.FT. / 5,601 SQ.FT. = 39.45%

MAX. ALLOWED BUILDING COVERAGE 50%

ZONING DESCRIPTION

CITY OF UNIVERSITY PARK
DESIGNATED SF2 SINGLE FAMILY DWELLING

DENSITY	1 DWELLING UNIT
PRIMARY USES	SINGLE FAMILY RESIDENCE
AVERAGE FRONT SETBACK	48'-8"
STREET SIDE SETBACK	10'-0"
INTERIOR SIDE YARD SETBACKS	
24% OF LOT WIDTH (16'-10")	6'-10"
ONE SIDE MINIMUM	10'-0"
GARAGE DOOR SETBACK	20'-0"
MAXIMUM BUILDING HEIGHT	35'-0"
MAX LOT COVERAGE	48%



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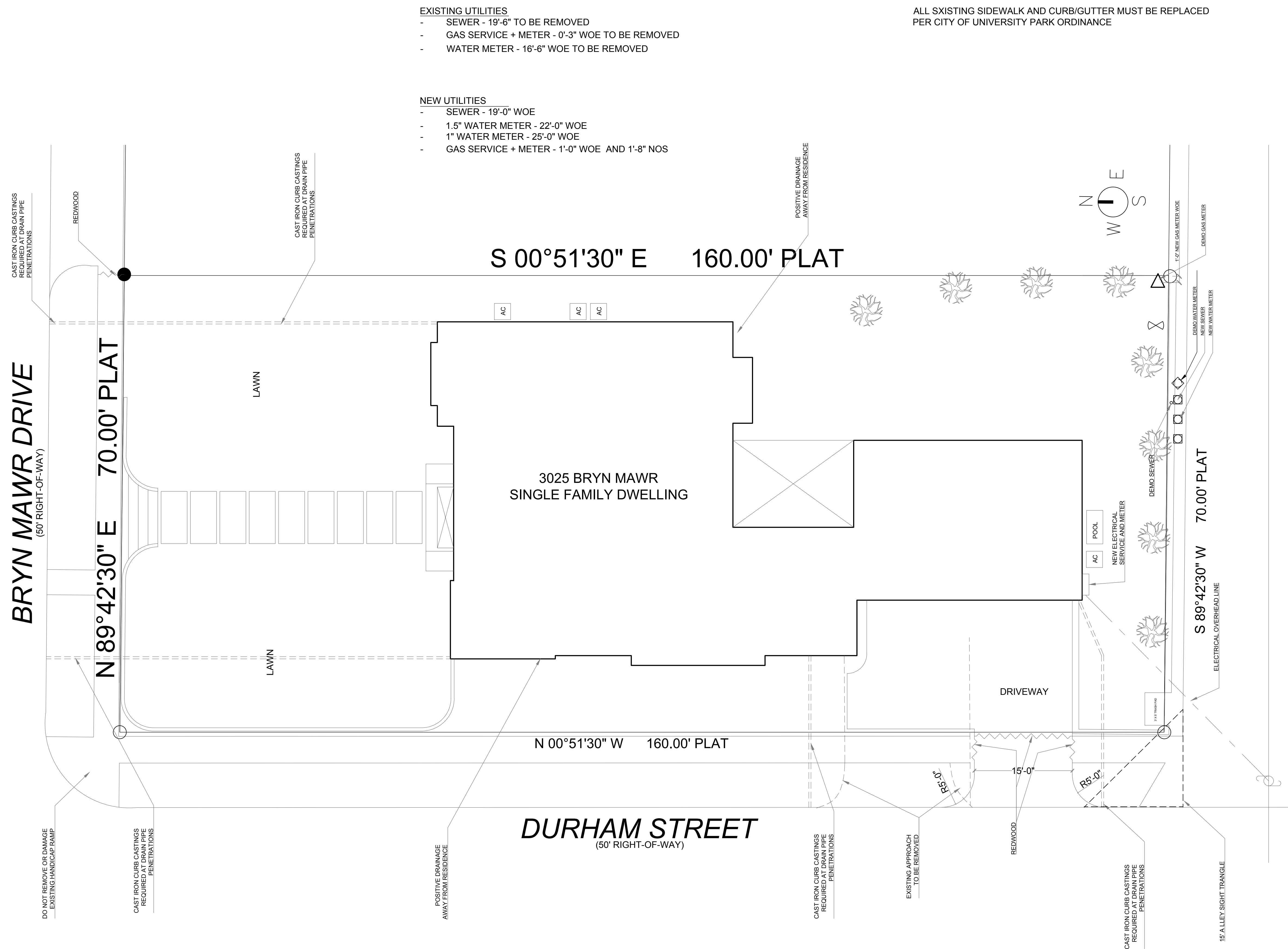


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PROJECT NO:	
22014	
PROJECT ISSUE DATE:	
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RIGHT-OF-WAY PLAN

SCALE: As indicated

DRAWING NUMBER:





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PROJECT ISSUE DATE: 23.06.28	
DRAWING TITLE:	

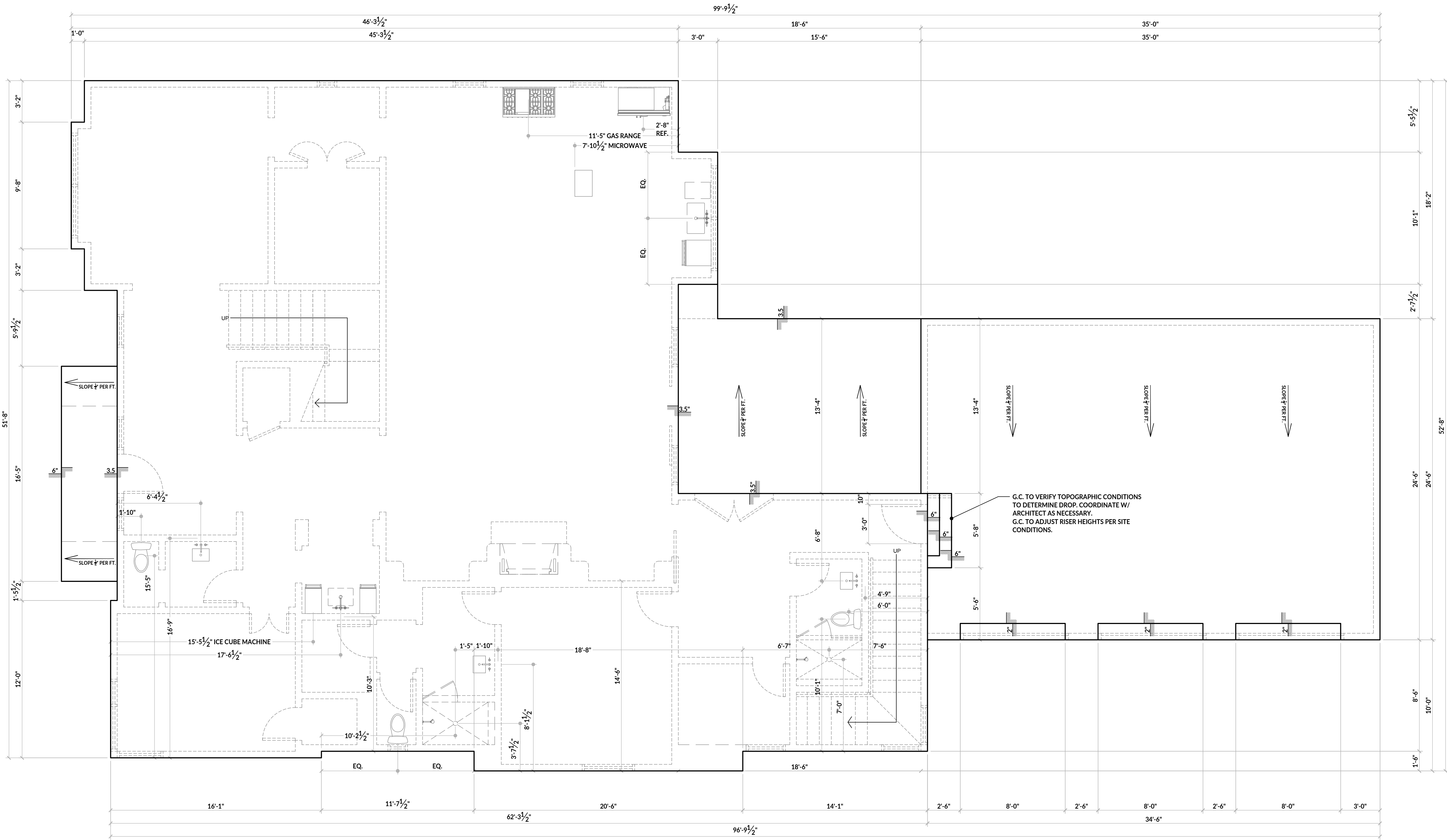
SLAB PLAN

SCALE: As indicated

DRAWING NUMBER:

FOUNDATION NOTES

1. REFER TO STRUCTURAL PLANS. THIS PLAN IS DIMENSIONAL FOUNDATION INFORMATION ONLY WITH ARCHITECTURAL DETAILS AND INFORMATION
2. ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE
3. OBJECTS THAT APPEAR TO BE IN ALIGNMENT SHOULD BE ASSUMED TO BE IN ALIGNMENT, UNLESS NOTED OTHERWISE
4. VERIFY THE LOCATION OF ALL APPLIANCES, PLUMBING FIXTURES AND ELECTRICAL FLOOR OUTLETS. REFERENCE INTERIOR DRAWING SHEETS
5. VERIFY ALL TOP OF STEM AND RETAINING WALLS WITH CIVIL AND EXISTING CONDITIONS



PLAN CALCULATIONS

1ST STORY 2,672 SQ.FT.

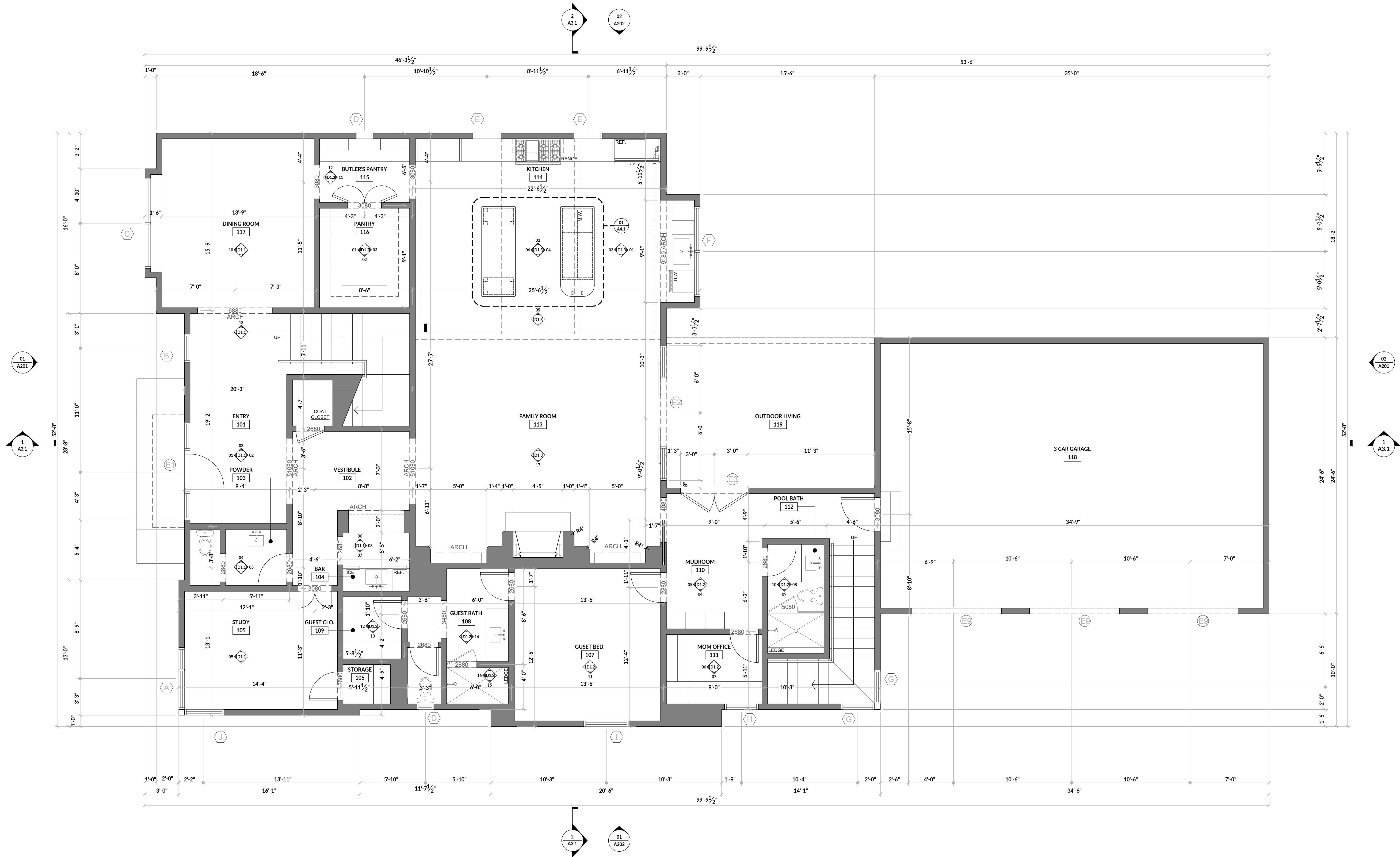
2ND STORY 3,302 SQ.FT.

TOTAL 5,974 SQ.FT.

GARAGE 857 SQ.FT.

PORCHES 322 SQ.FT.

TOTAL STRUCT. 7,153 SQ.FT.



3025 BRYN MAWR DR.

UNIVERSITY PARK, TX 75225



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1ST FLOOR PLAN

SCALE: As indicated

DRAWING NUMBER:

A1.1



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DRAWING TITLE:

2ND FLOOR PLAN

SCALE: As indicated

DRAWING NUMBER:

PLAN CALCULATIONS




1ST STORY	2,672 SQ.FT.
2ND STORY	3,302 SQ.FT.
TOTAL	5,974 SQ.FT.
GARAGE	857 SQ.FT.
PORCHES	322 SQ.FT.
TOTAL STRUCT.	7,153 SQ.FT.



HVAC GENERAL NOTES

G.C. TO COORDINATE WITH HVAC CONSULTANT FOR ALL THE EXACT LOCATIONS OF GRILLES (RETURNS & SUPPLIES AS NEEDED) & PROPER GRILLE SIZING AS REQUIRED BY PROPOSED HVAC SYSTEM AND ALL APPLICABLE CODES. G.C. TO COORDINATE WITH ARCHITECT AS REQUIRED.

MATERIAL LEGEND

FAN	
SUPPLY VENT	
RETURN VENT	

GENERAL NOTE

PLEASE REFER TO LIGHTING PLANS FOR GENERAL DIMENSIONS AND PLACEMENTS. COORDINATE WITH ARCHITECT AS REQUIRED.

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1ST FLOOR REFLECTED
CEILING PLAN

SCALE: As indicated




DRAWING NUMBER:

A1.3

HVAC GENERAL NOTES

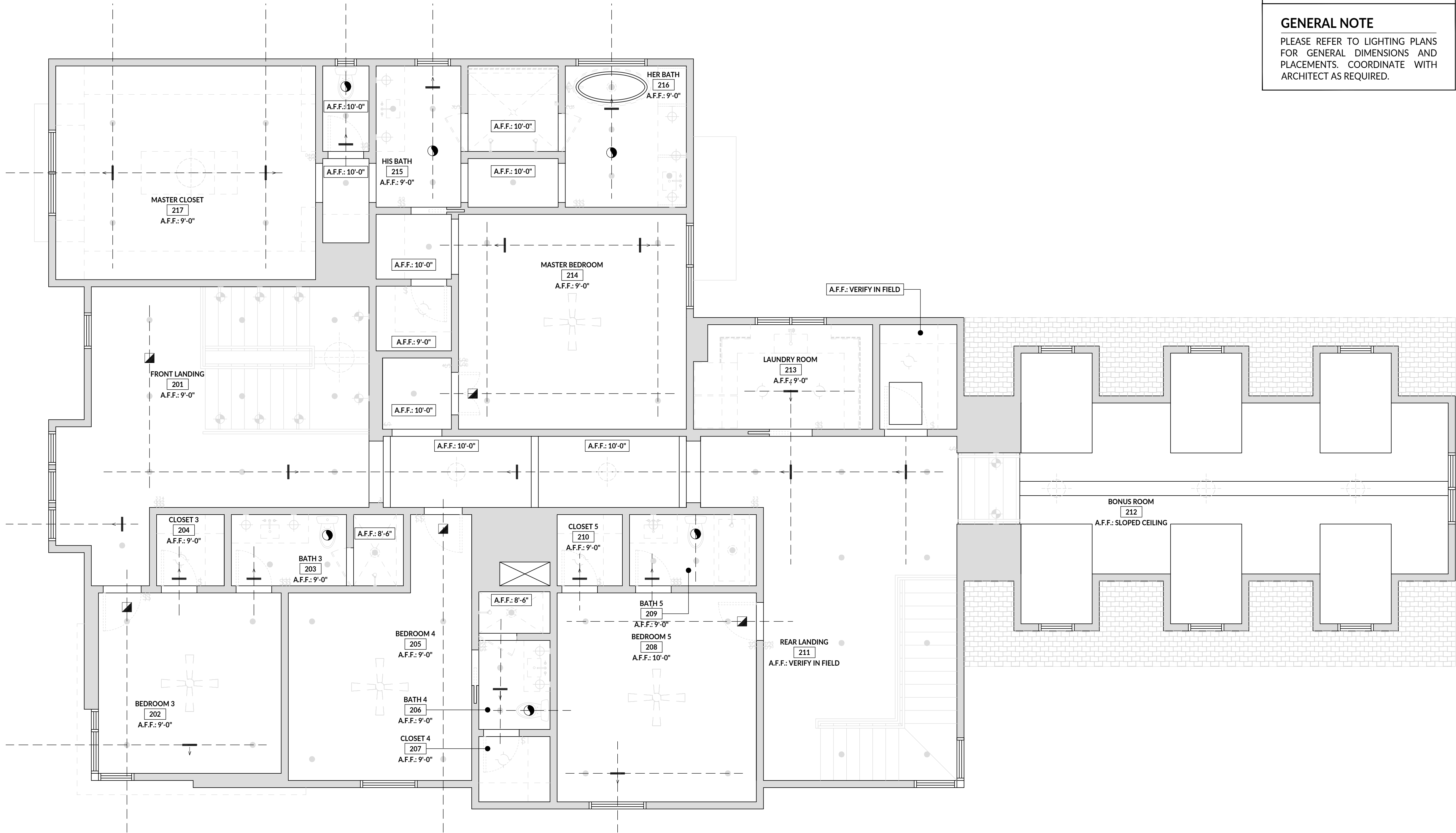
G.C. TO COORDINATE WITH HVAC CONSULTANT FOR ALL THE EXACT LOCATIONS OF GRILLES (RETURNS & SUPPLIES AS NEEDED) & PROPER GRILLE SIZING AS REQUIRED BY PROPOSED HVAC SYSTEM AND ALL APPLICABLE CODES. G.C. TO COORDINATE WITH ARCHITECT AS REQUIRED.

MATERIAL LEGEND

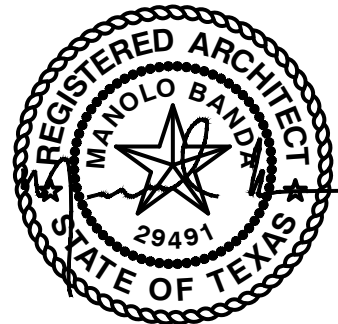
FAN	
SUPPLY VENT	
RETURN VENT	

GENERAL NOTE

PLEASE REFER TO LIGHTING PLANS FOR GENERAL DIMENSIONS AND PLACEMENTS. COORDINATE WITH ARCHITECT AS REQUIRED.



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2ND FLOOR REFLECTED
CEILING PLAN

SCALE:	As indicated
DRAWING NUMBER:	



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DRAWING TITLE:

ROOF PLAN

SCALE: As indicated

DRAWING NUMBER:

MATERIAL LEGEND

COMPOSITE ROOF

[INSERT SPEC]

[INSERT SPEC]

METAL ROOF

[INSERT SPEC]

[INSERT SPEC]

STUCCO

[INSERT SPEC]

[INSERT SPEC]

LAP SIDING

[INSERT SPEC]

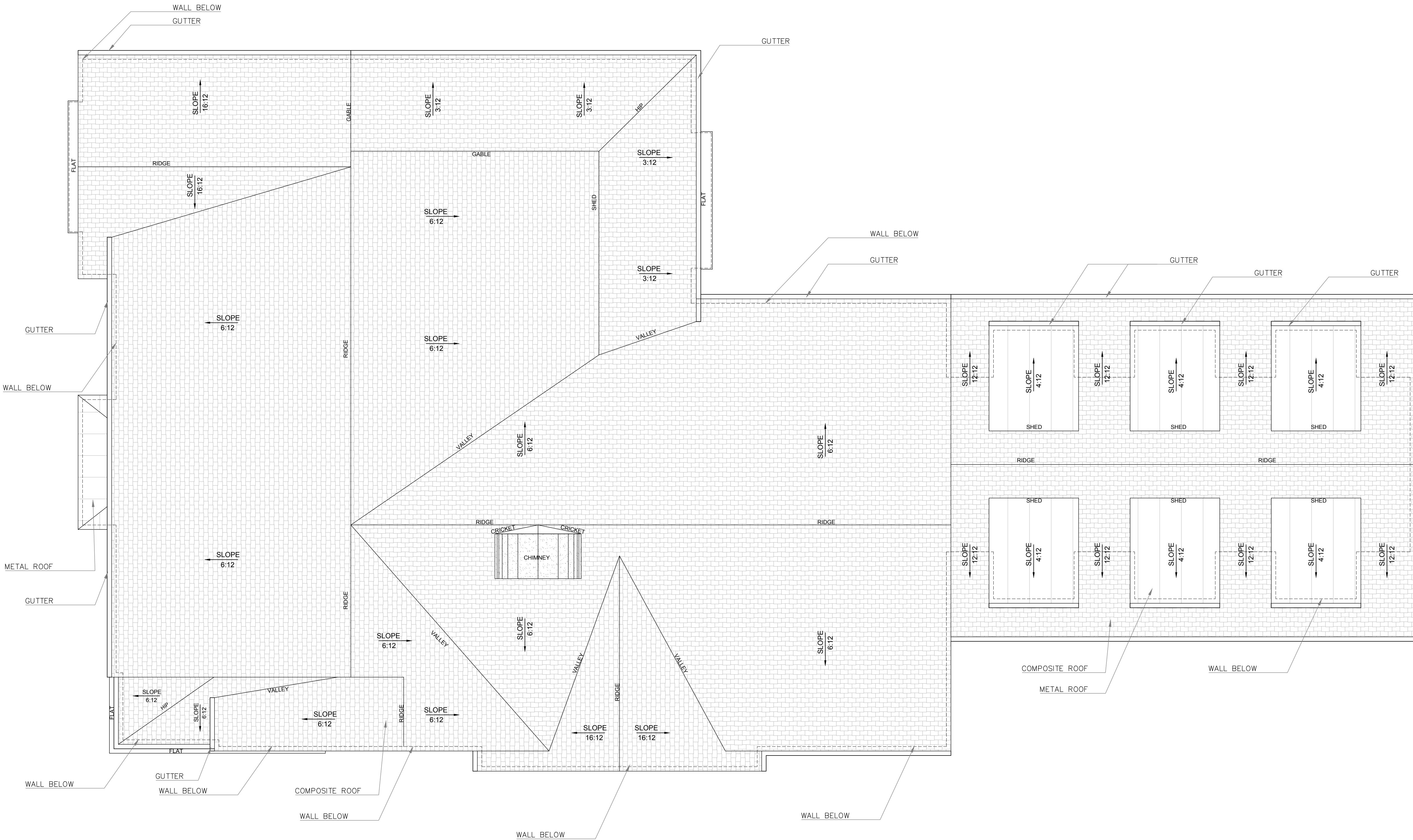
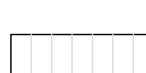
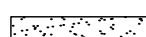
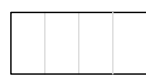
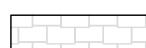
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PANEL SIDING

[INSERT SPEC]

[INSERT SPEC]

[INSERT SPEC]





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PROJECT NO:	22014
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SCALE: As indicated

DRAWING NUMBER:





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PROJECT ISSUE DATE: 23.06.28

DRAWING TITLE:

1ST FLOOR FINISH PLAN

SCALE: As indicated

DRAWING NUMBER:

MATERIAL LEGEND

COMPOSITE ROOF

[INSERT SPEC]

METAL ROOF

[INSERT SPEC]

STUCCO

[INSERT SPEC]

LAP SIDING

[INSERT SPEC]

PANEL SIDING

[INSERT SPEC]

EXTERIOR ELEVATION NOTES

G.C. TO VERIFY TOPOGRAPHIC SURVEY FINDINGS IN ORDER TO DETERMINE PROPER ELEVATION MARKERS ON SITE. EXTERIOR ELEVATIONS AS SHOWN IN THIS SET FOR DESIGN INTENT ONLY. G.C. TO COORDINATE WITH DESIGNER TO AVOID ANY DISCREPANCIES.

EXTERIOR FINISH SELECTIONS									
DESIGNATION	MATERIAL	SUPPLIER	DESCRIPTION	SIZE / PATTERN	COLOR	FINISH	JOINT	NOTES	
EFL-01	PAVER	BY G.C.	FRONT PORCH PAVERS	16"x20" 1/3 OFFSET	PEWTER	HONED	-		
EFL-02	CONCRT.	BY G.C.	BACK PORCH CONCRETE FLOORING	-	NATURAL	SALTED	-		
EPT-01	PAINT	BY G.C.	PANEL / SIDING PAINT	-	TBD	TBD	-		
EPT-02	PAINT	BY G.C.	STUCCO PAINT MATCH	-	TBD	TBD	-		
EST-01	STONE	BY G.C.	WINDOW SILL, HEADER AS NOTED	REFER TO DETAILS	BUFF	-	-	USE ONE PIECE IF AVAILABLE	
EST-02	STONE	BY G.C.	PLANTER PADS W/ CAPS	REFER TO DETAILS	BUFF	-	-		
RF-01	TBD	BY G.C.	ROOFING MATERIAL AS NOTED	TBD	TBD	TBD	TBD		
RF-02	METAL	BY G.C.	ROOFING MATERIAL AS NOTED	TBD	TBD	TBD	TBD		

PRE-FINISHED METAL ROOF

FINISHED WOOD TRIM. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

FINISHED WOOD PANELING. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

FINISHED WOOD TRIM. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

FINISHED WOOD PANELING. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

DECORATIVE CORBELS BELOW BAY WINDOW STRUCTURE. REFER TO FINISH SCHEDULE FOR REFERENCE.

SMOOTH STUCCO APPLICATION. TYP.

ENLARGED ELEVATION DETAIL
SCALE: 0' - 1" = 1' - 0"

PRE-FINISHED METAL ROOF

FINISHED WOOD TRIM. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

SMOOTH STUCCO APPLICATION. TYP.

PICTURE WINDOWS. REFER TO WINDOW SCHEDULE FOR REFERENCE

FINISHED WOOD PANELING. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

FINISHED WOOD TRIM. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

WOOD PANEL SIDING. COORDINATE WITH ARCHITECT FOR PANEL DIRECTION APPLICATION. REFER TO FINISH SCHEDULE FOR REFERENCE

DECORATIVE CORBELS BELOW BAY WINDOW STRUCTURE. REFER TO FINISH SCHEDULE FOR REFERENCE.

STUCCO RELIEF DETAIL

SMOOTH STUCCO APPLICATION. TYP.

ENLARGED ELEVATION DETAIL
SCALE: 0' - 1" = 1' - 0"

ARCHED SMOOTH STUCCO CHIMNEY CAP - SPARK ARRESTOR INSIDE CHIMNEY ASSEMBLY (NOT VISIBLE FROM OUTSIDE)

SMOOTH STUCCO APPLICATION. TYP.

COMPOSITE ROOF. REFER TO SPECIFICATIONS FOR REFERENCE.

BAY WINDOW ENLARGED ELEVATION DETAIL
SCALE: 0' - 1/2" = 1' - 0"

PRE-FINISHED METAL ROOF

FINISHED WOOD TRIM. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

SMOOTH STUCCO APPLICATION. TYP.

PICTURE WINDOWS. REFER TO WINDOW SCHEDULE FOR REFERENCE

FINISHED WOOD PANELING. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

FINISHED WOOD TRIM. REFER TO FINISH SCHEDULE FOR REFERENCE. TYP.

WOOD PANEL SIDING. COORDINATE WITH ARCHITECT FOR PANEL DIRECTION APPLICATION. REFER TO FINISH SCHEDULE FOR REFERENCE

DECORATIVE CORBELS BELOW BAY WINDOW STRUCTURE. REFER TO FINISH SCHEDULE FOR REFERENCE.

BAY WINDOW ENLARGED ELEVATION DETAIL
SCALE: 0' - 1/2" = 1' - 0"

STUCCO, EPT-02

ROOF, RF-01

STUCCO

ROOF, RF-01

STUCCO, EPT-02

ROOF, RF-02

SIDING, EPT-01

STUCCO, EPT-02

SILL, EST-01

2ND FLOOR CEILING 24'-9" A.F.F.

2ND FLOOR 10'-6" A.F.F.

1ST FLOOR CEILING 9'-0" A.F.F.

STUCCO, EPT-02

1ST FINISH FLOOR 0'-0" A.F.F.

REAR FACADE EXTERIOR ELEVATION | SOUTH VIEW
SCALE: 0' - 1/4" = 1' - 0"

ROOF, RF-01

ROOF, RF-01

STUCCO, EPT-02

SILL, EST-01

2ND FLOOR CEILING 22'-6" A.F.F.

2ND FLOOR 12'-6" A.F.F.

1ST FLOOR CEILING 11'-0" A.F.F.

SIDING, EPT-01

1ST FINISH FLOOR 0'-0" A.F.F.

STUCCO, EPT-02

CORBEL, EPT-01

STEP, EFL-01

PLANTER, EST-02

CAP, EST-02

STUCCO, EPT-02

STUCCO, EPT-02

FRONT FACADE EXTERIOR ELEVATION | NORTH VIEW
SCALE: 0' - 1/4" = 1' - 0"

MANOLO DESIGN STUDIO

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4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206

T: 214.501.4984
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MANOLODESIGNSTUDIO.COM

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PERMIT	2023.04.25
CD SET	2023.06.28
DRAWN BY:	EG
PROJECT NO:	22014
PROJECT ISSUE DATE:	23.06.28
DRAWING TITLE:	

EXTERIOR ELEVATIONS

SCALE:
As indicated

DRAWING NUMBER:

A2.1

MATERIAL LEGEND

COMPOSITE ROOF

(INSERT SPEC)

METAL ROOF

(INSERT SPEC)

STUCCO

(INSERT SPEC)

LAP SIDING

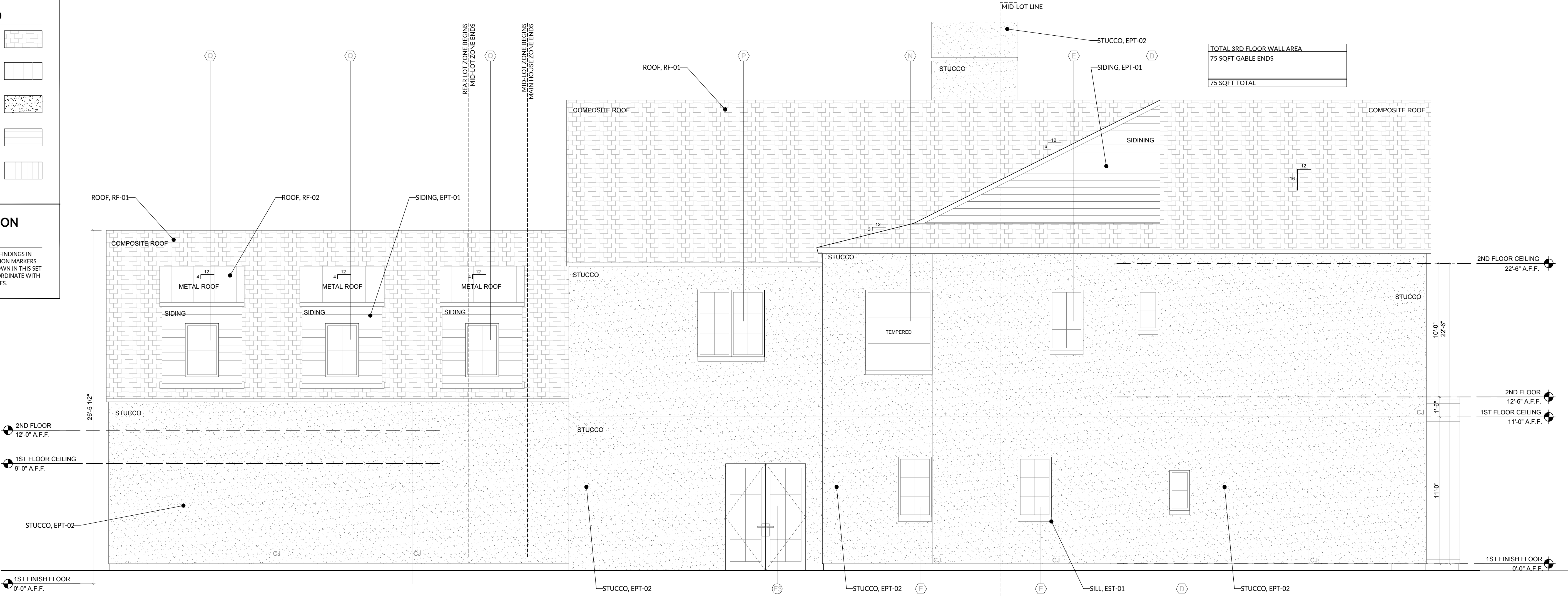
(INSERT SPEC)

PANEL SIDING

(INSERT SPEC)

EXTERIOR ELEVATION NOTES

G.C. TO VERIFY TOPOGRAPHIC SURVEY FINDINGS IN ORDER TO DETERMINE PROPER ELEVATION MARKERS ON SITE. EXTERIOR ELEVATIONS AS SHOWN IN THIS SET FOR DESIGN INTENT ONLY. G.C. TO COORDINATE WITH DESIGNER TO AVOID ANY DISCREPANCIES.



2 INTERIOR LOT EXTERIOR ELEVATION | EAST VIEW
SCALE: 0' - 1/4" = 1' - 0"



1 STREET SIDE EXTERIOR ELEVATION | WEST VIEW
SCALE: 0' - 1/4" = 1' - 0"

EXTERIOR FINISH SELECTIONS									
DESIGNATION	MATERIAL	SUPPLIER	DESCRIPTION	SIZE/ PATTERN	COLOR	FINISH	JOINT	NOTES	
EFL-01	PAVER	BY G.C.	FRONT PORCH PAVERS	16"X20" 1/3 OFFSET	PEWTER	HONED	-	-	-
EFL-02	CONCRT.	BY G.C.	BACK PORCH CONCRETE FLOORING	-	NATURAL	SALTED	-	-	-
EPT-01	PAINT	BY G.C.	PANEL/ SIDING PAINT	-	TBD	TBD	-	-	-
EPT-02	PAINT	BY G.C.	STUCCO PAINT MATCH	-	TBD	TBD	-	-	-
EST-01	STONE	BY G.C.	WINDOW SILL, HEADER AS NOTED	REFER TO DETAILS	BUFF	-	-	USE ONE PIECE IF AVAILABLE	
EST-02	STONE	BY G.C.	PLANTER PADS W/ CAPS	REFER TO DETAILS	BUFF	-	-	-	-
RF-01	TBD	BY G.C.	ROOFING MATERIAL AS NOTED	TBD	TBD	TBD	TBD	-	-
RF-02	METAL	BY G.C.	ROOFING MATERIAL AS NOTED	TBD	TBD	TBD	TBD	-	-

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CD SET	2023.06.28

DRAWN BY:	EG
PROJECT NO:	22014
PROJECT ISSUE DATE:	23.06.28
DRAWING TITLE:	

EXTERIOR ELEVATIONS

SCALE: As indicated
DRAWING NUMBER:

A2.2



REVISIONS:	
PERMIT	2023.04.25
CD SET	2023.06.28

DRAWN BY: EG

PROJECT NO: 22014

PROJECT ISSUE DATE: 23.06.28

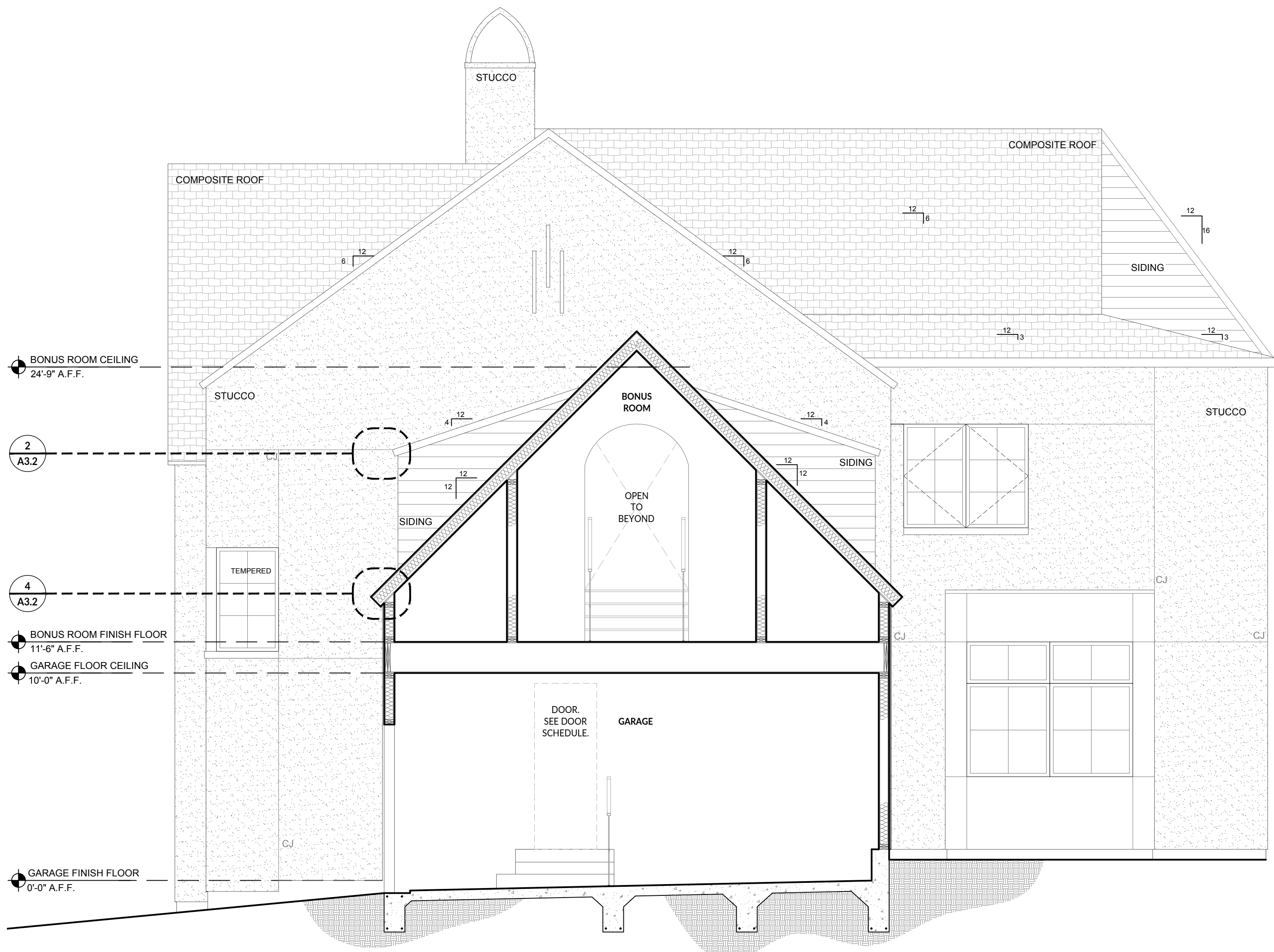
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SECTION DETAILS

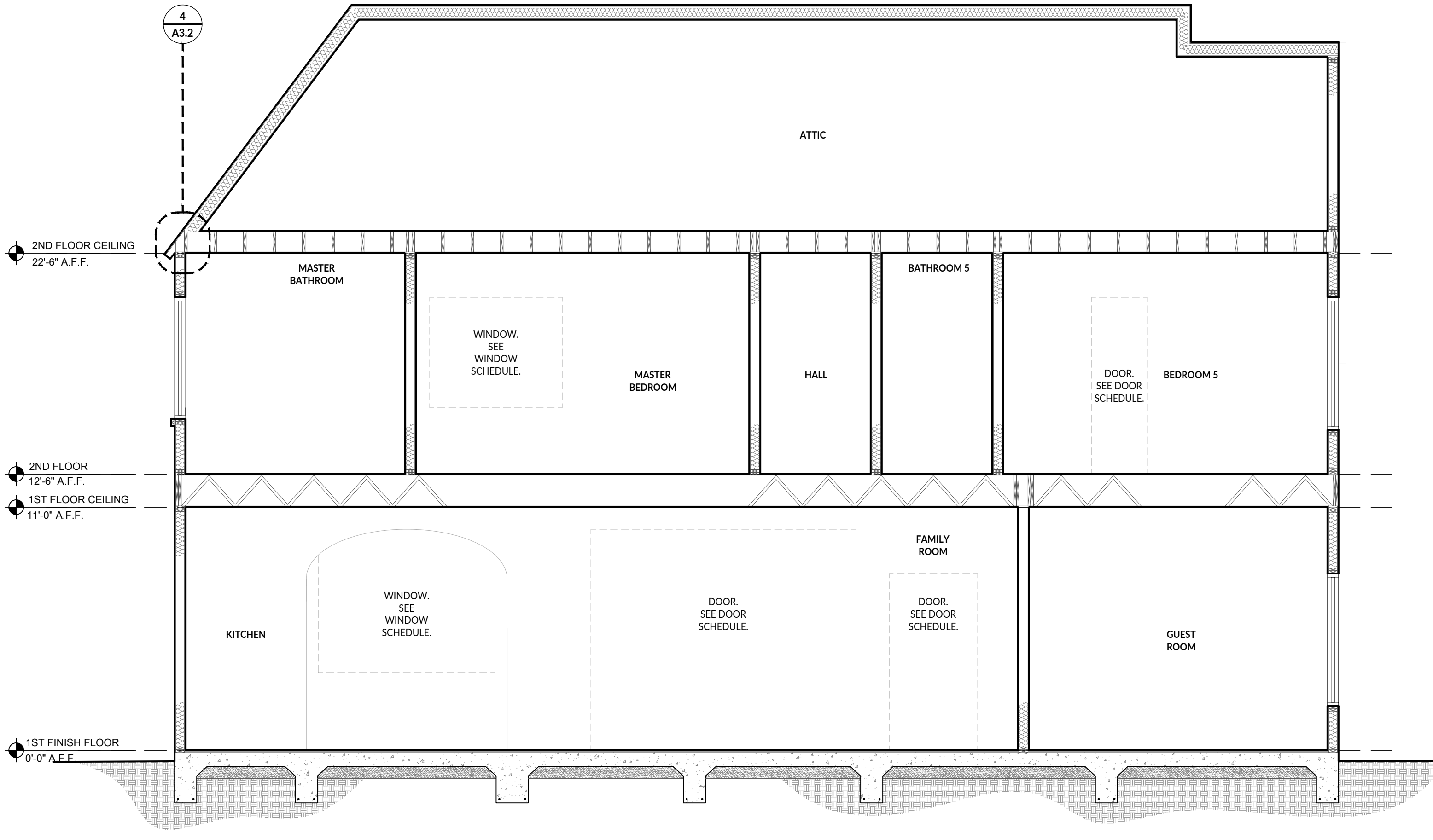
SCALE: As indicated

DRAWING NUMBER:

A3.1



3 SECTION C
SCALE: 0' - 1/4" = 1' - 0"

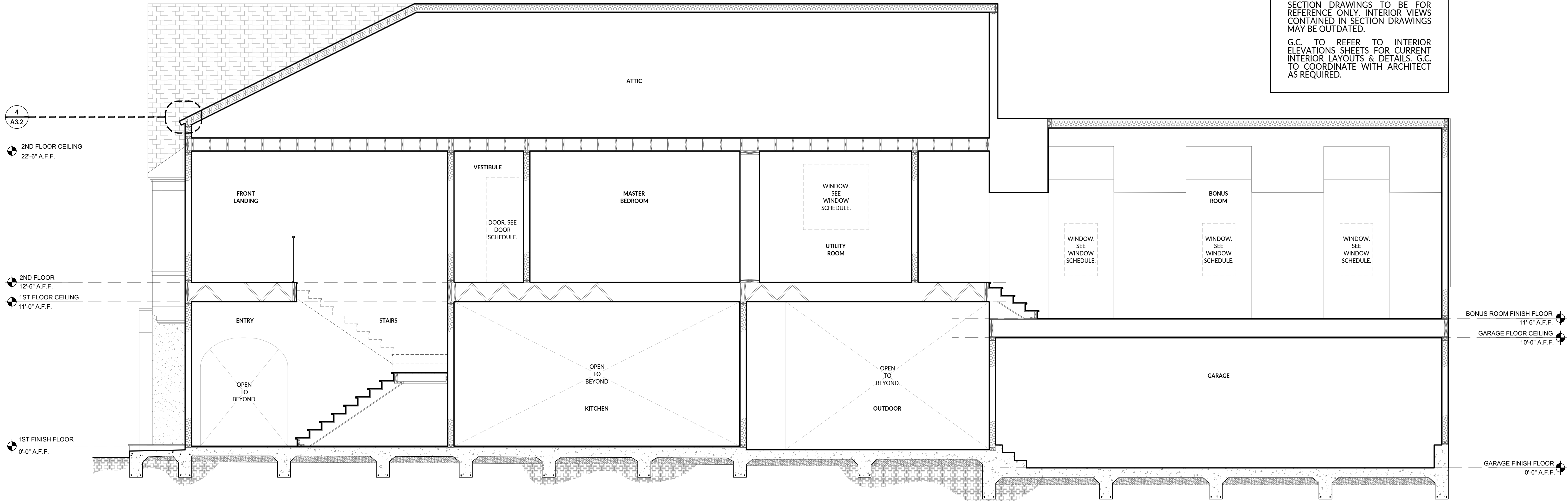


2 SECTION B
SCALE: 0' - 1/4" = 1' - 0"

GENERAL NOTE

ALL INTERIOR VIEWS CONTAINED IN SECTION DRAWINGS TO BE FOR REFERENCE ONLY. INTERIOR VIEWS CONTAINED IN SECTION DRAWINGS MAY BE OUTDATED.

G.C. TO REFER TO INTERIOR ELEVATIONS SHEETS FOR CURRENT INTERIOR LAYOUTS & DETAILS. G.C. TO COORDINATE WITH ARCHITECT AS REQUIRED.



1 SECTION A
SCALE: 0' - 1/4" = 1' - 0"



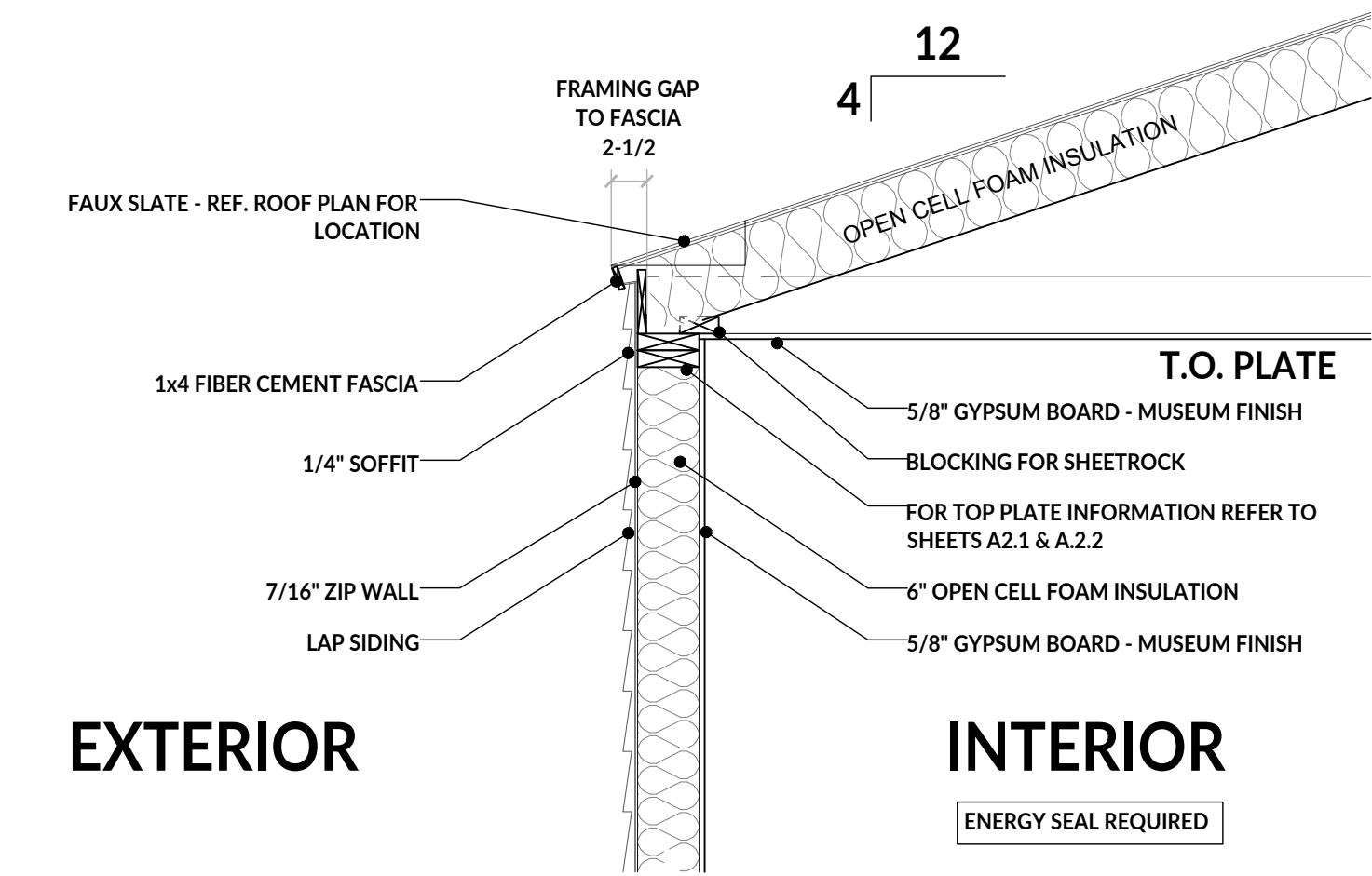
REVISIONS:	
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DRAWING TITLE:	

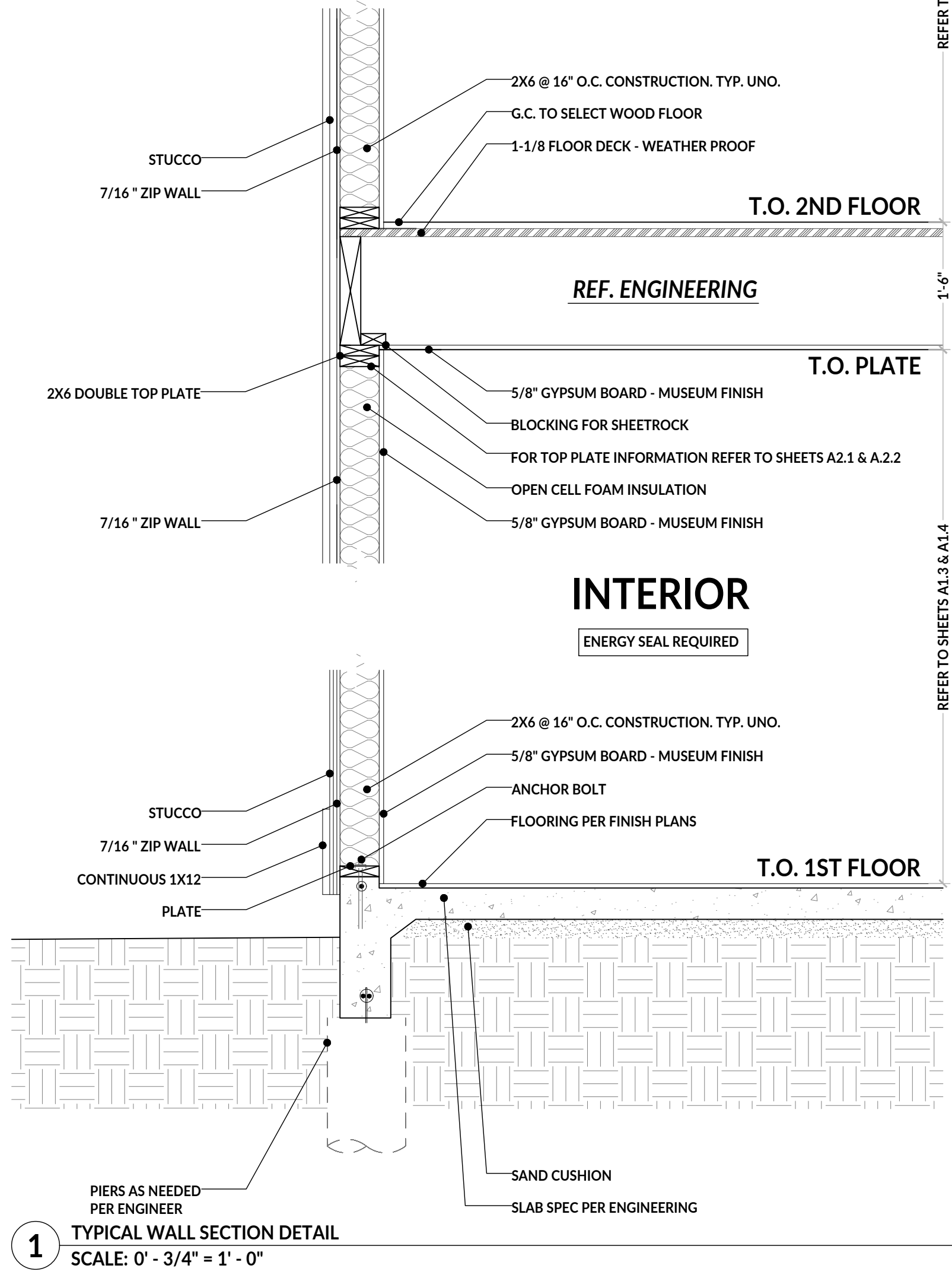
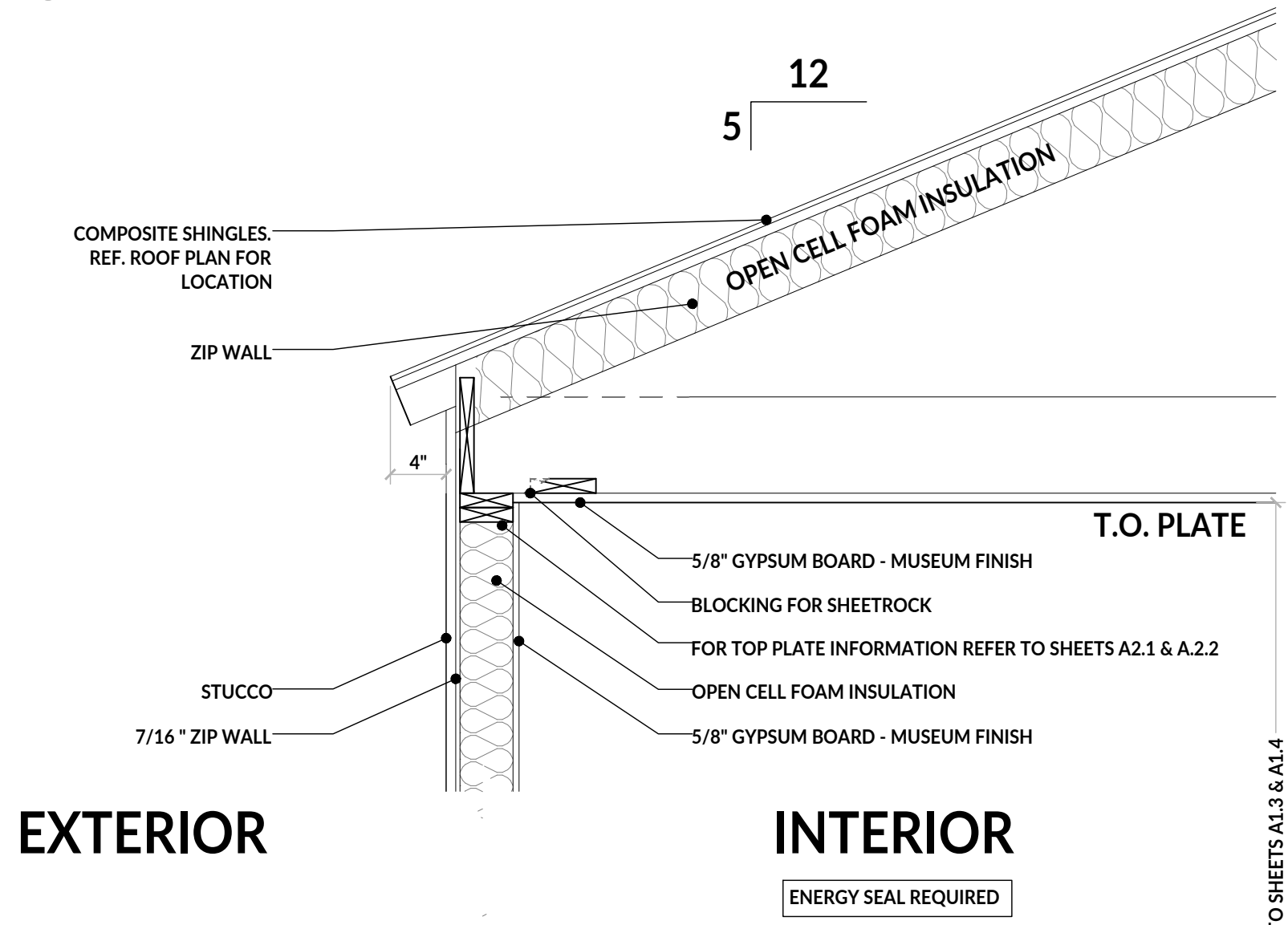
SECTION DETAILS

SCALE:	As indicated
DRAWING NUMBER:	

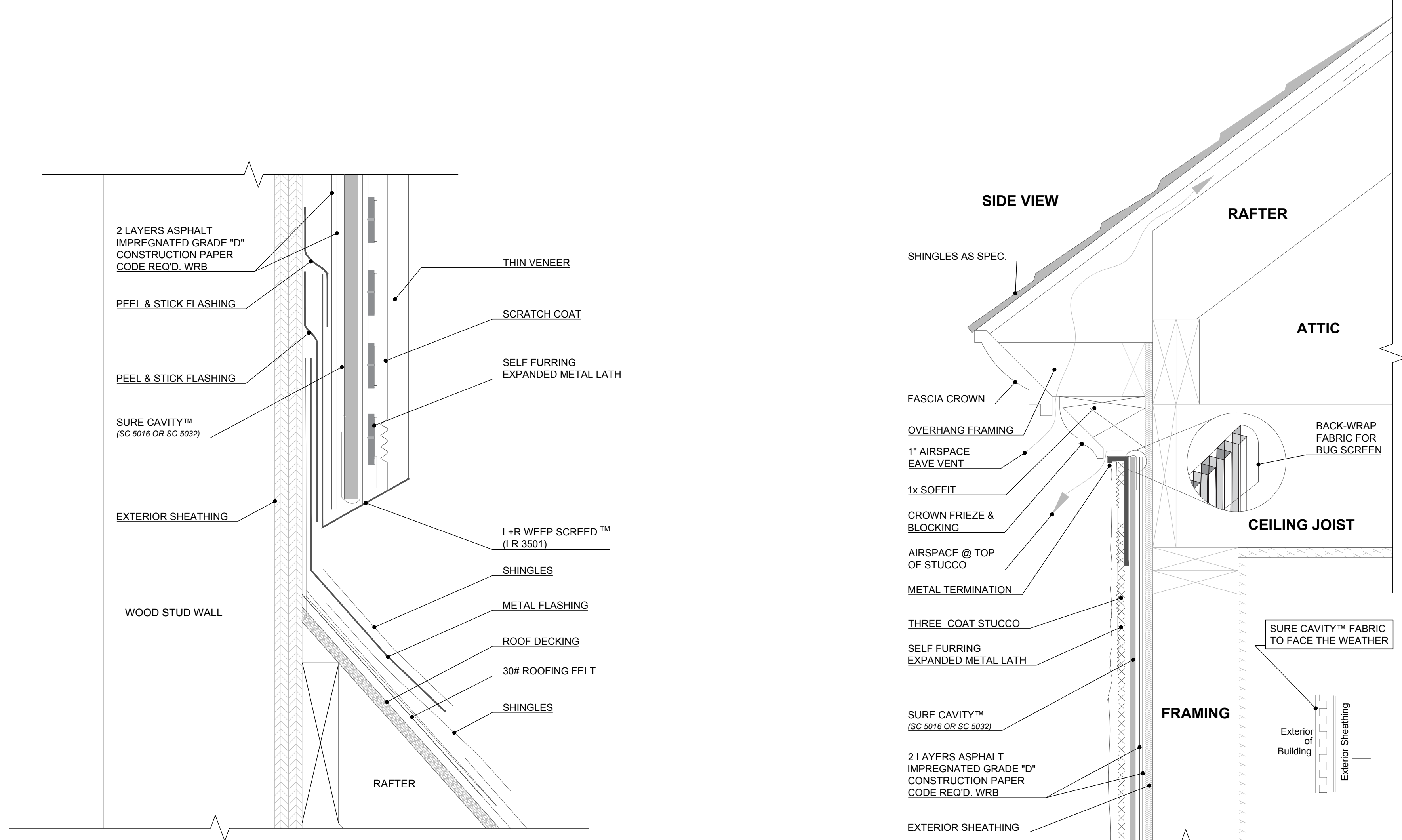
A3.2



2 SIDING SECTION
SCALE: 0' - 3/4" = 1' - 0"

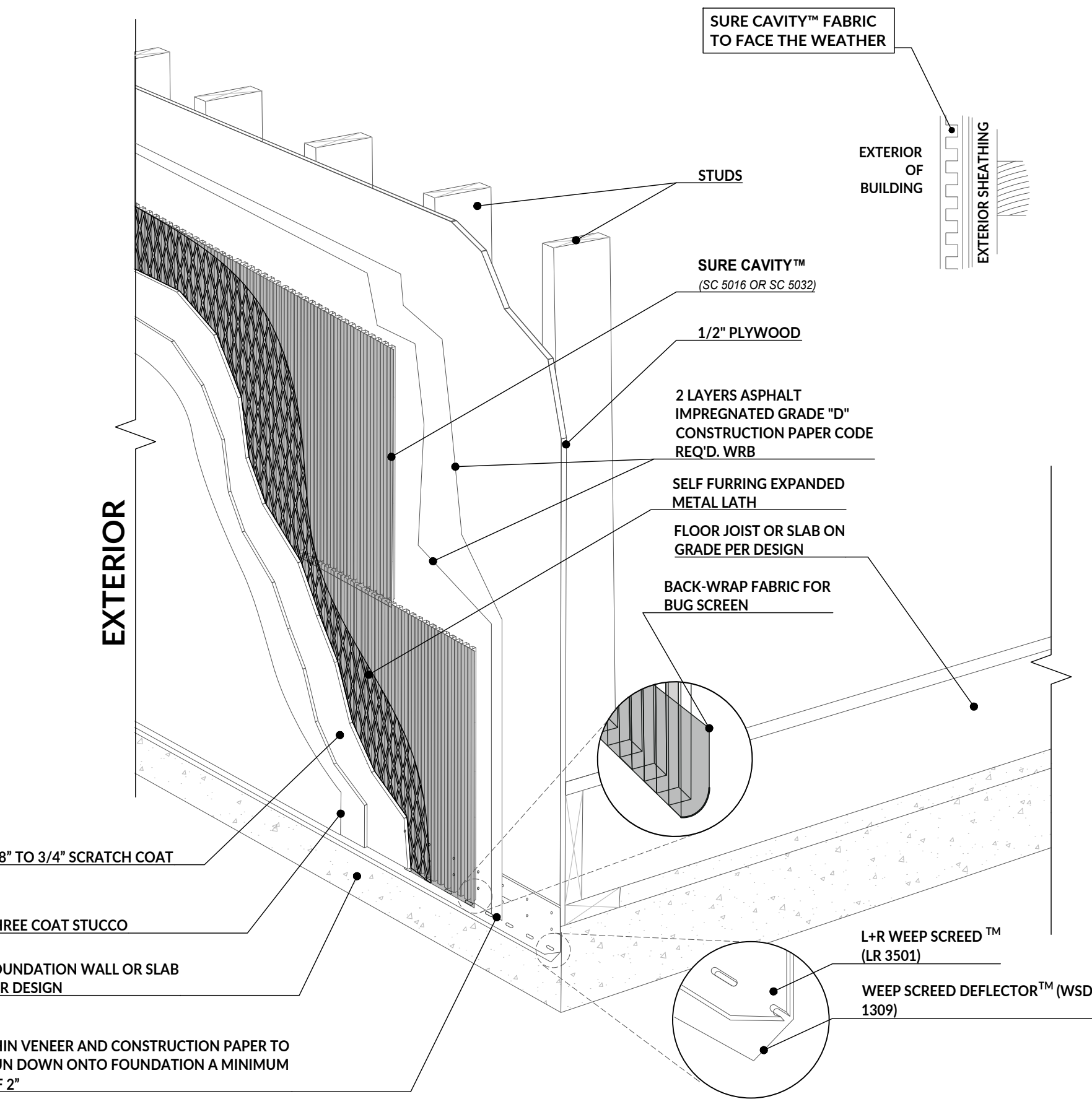


1 TYPICAL WALL SECTION DETAIL
SCALE: 0' - 3/4" = 1' - 0"

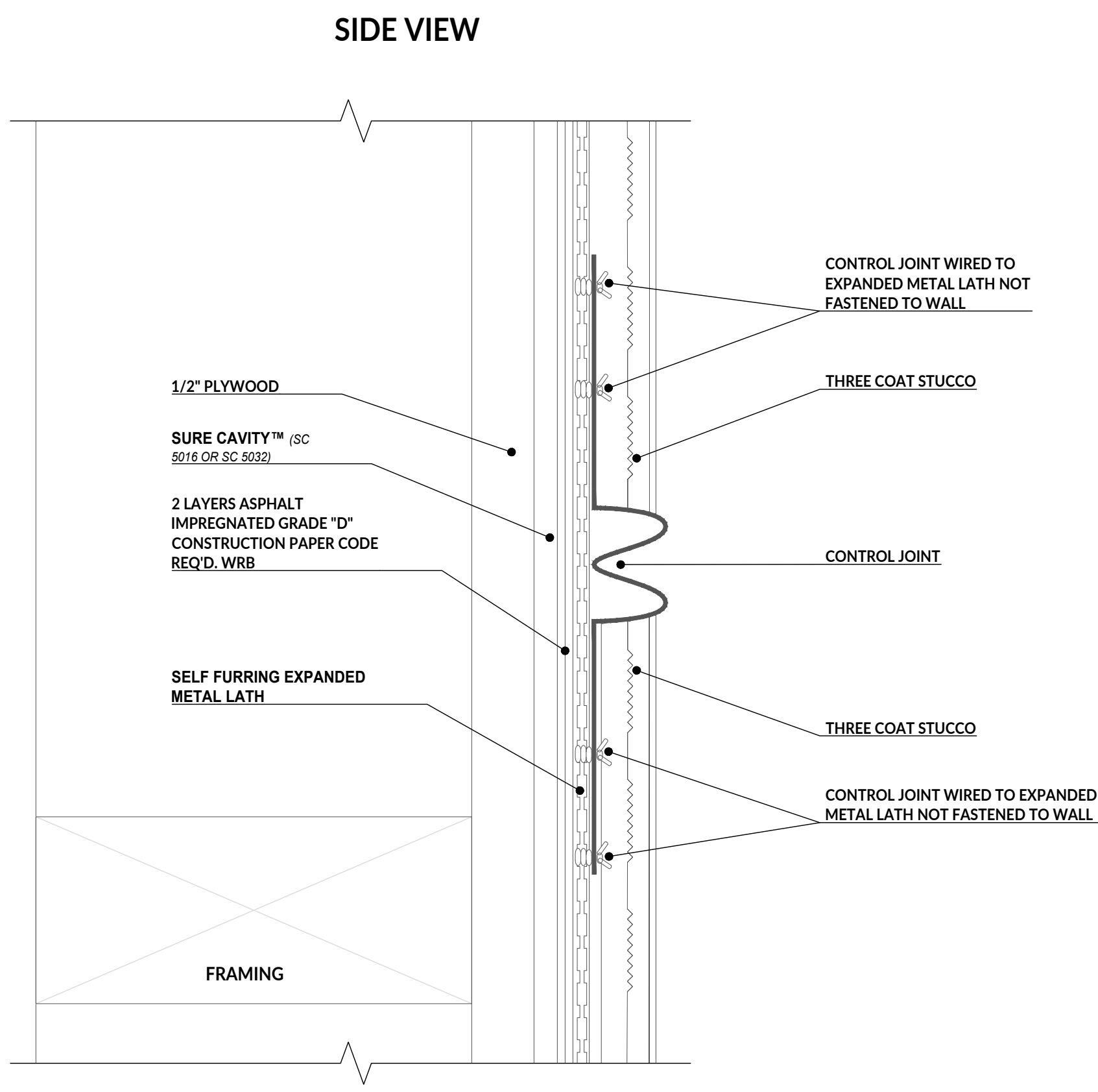


3 ROOF TO THIN VENEER SIDE WALL TERMINATION DETAIL
SCALE: 0' - 1-1/2" = 1' - 0"

4 THIN VENEER TO TOP-VENTED WALL STOPPED AT SOFFIT INSTALLATION
SCALE: 0' - 1-1/2" = 1' - 0"



5 L&R WEEP SCREED & DEFLECTOR @ BOTTOM OF THIN VENEER WALL INSTALLATION
SCALE: 0' - 1-1/2" = 1' - 0"



3 HORIZONTAL CONTROL JOINT IN THREE-COAT STUCCO INSTALLATION
SCALE: 0' - 1-1/2" = 1' - 0"

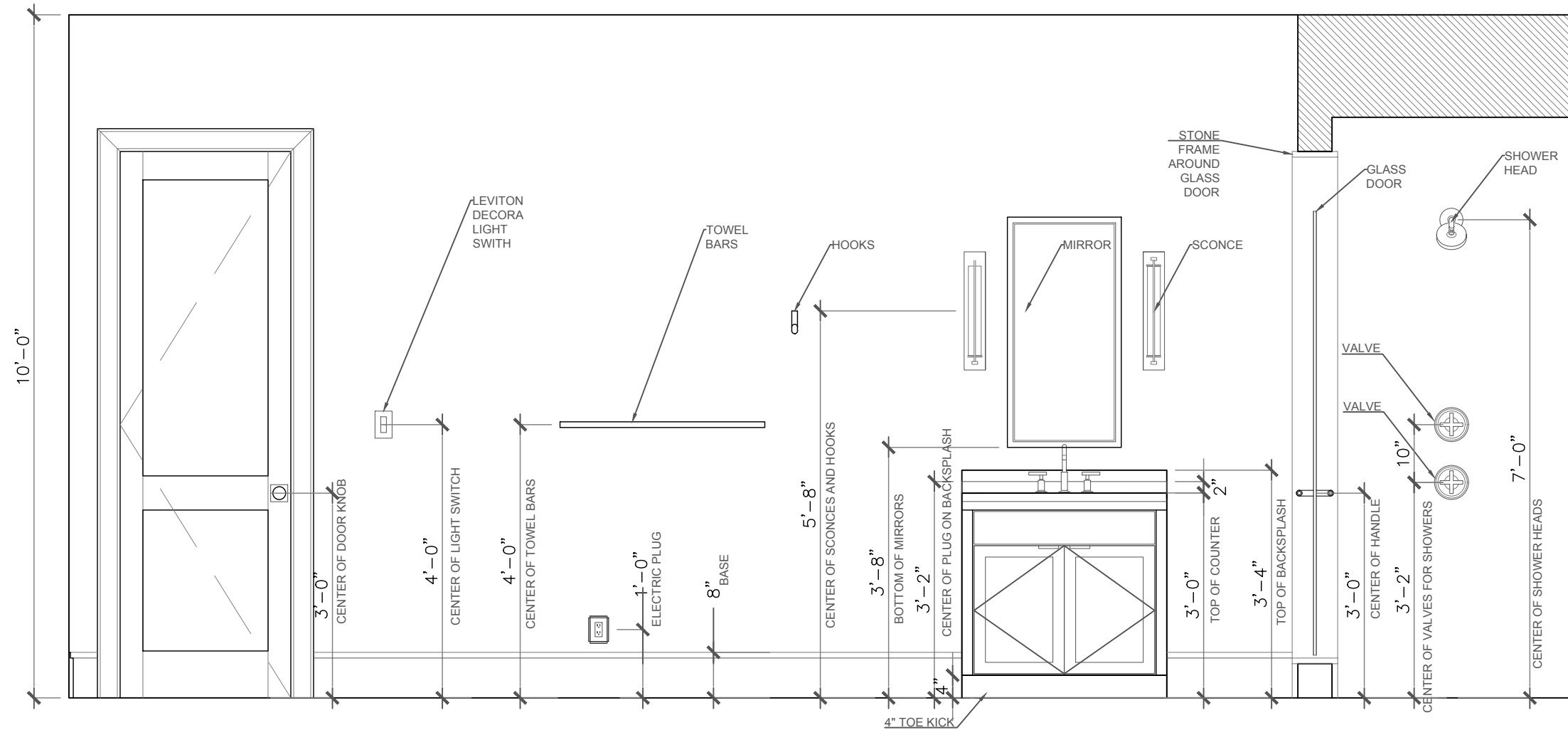


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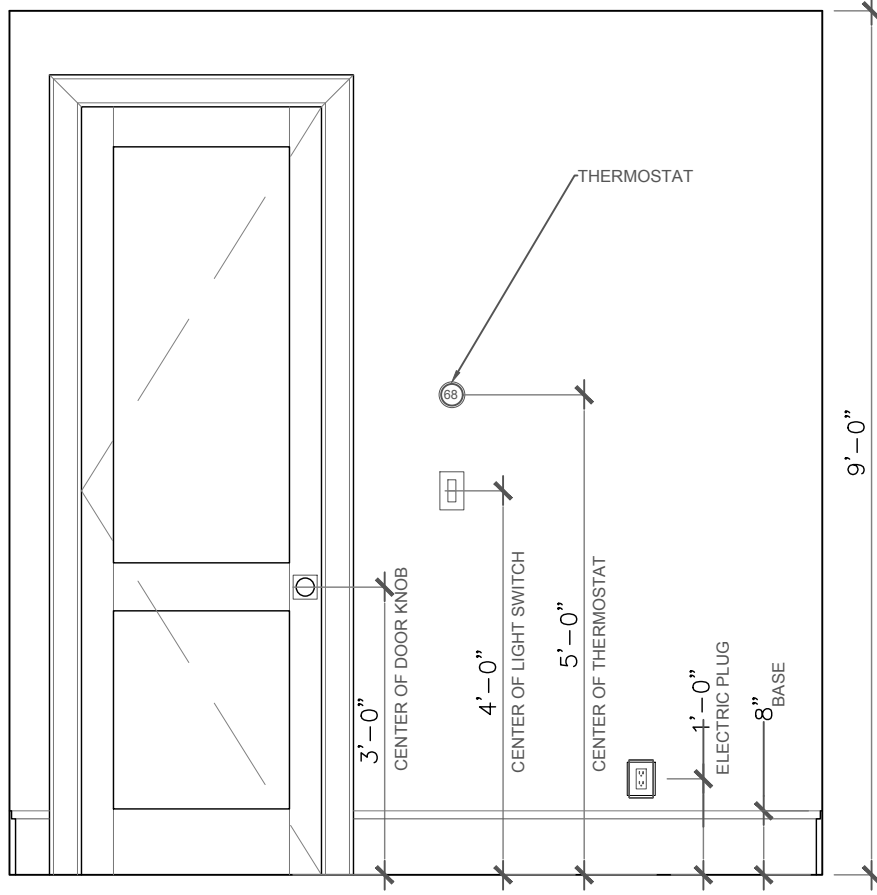
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PROJECT ISSUE DATE:	23.06.28
DRAWING TITLE:	

ENLARGED DETAILS

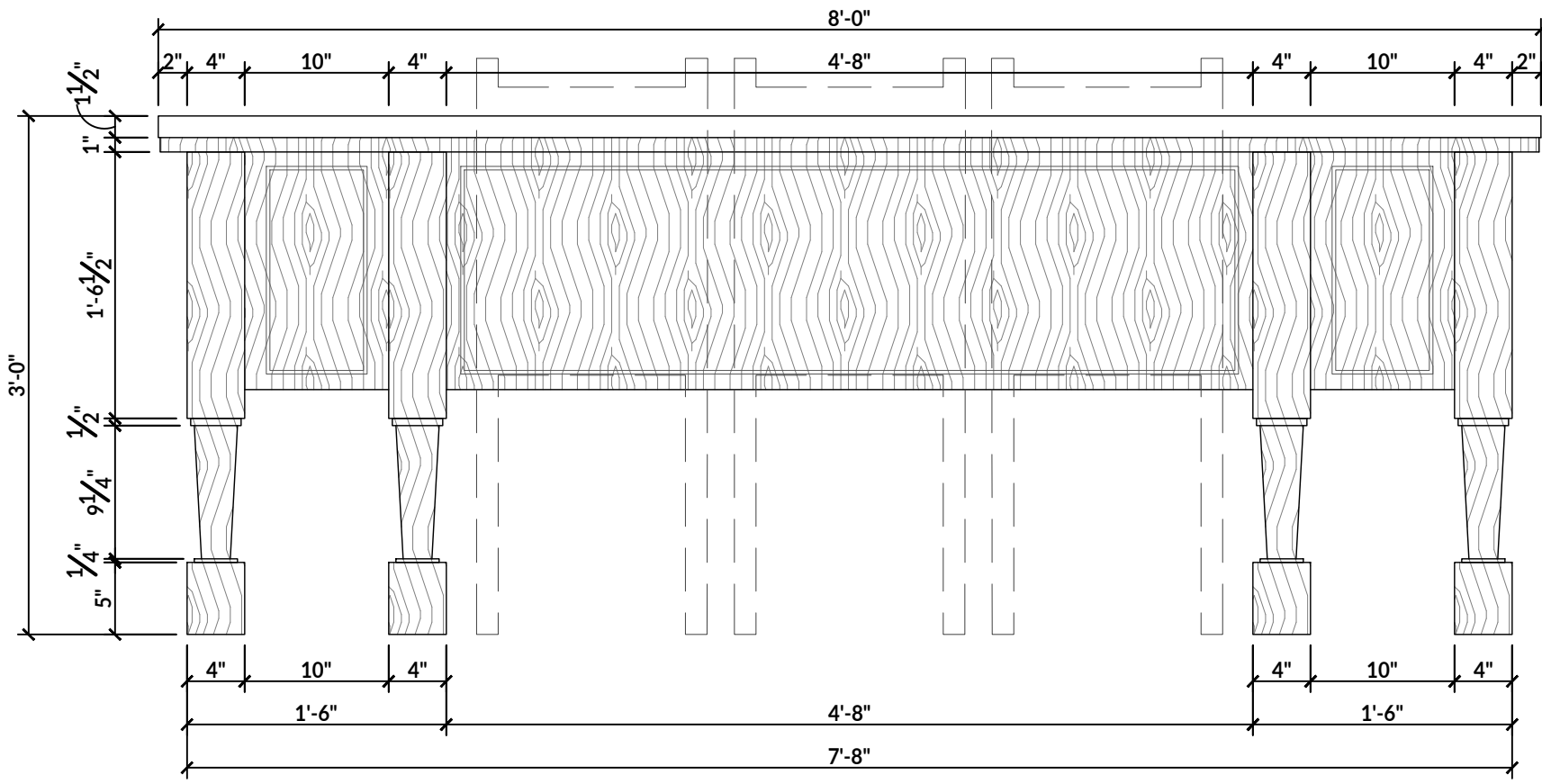
SCALE:	As indicated
DRAWING NUMBER:	



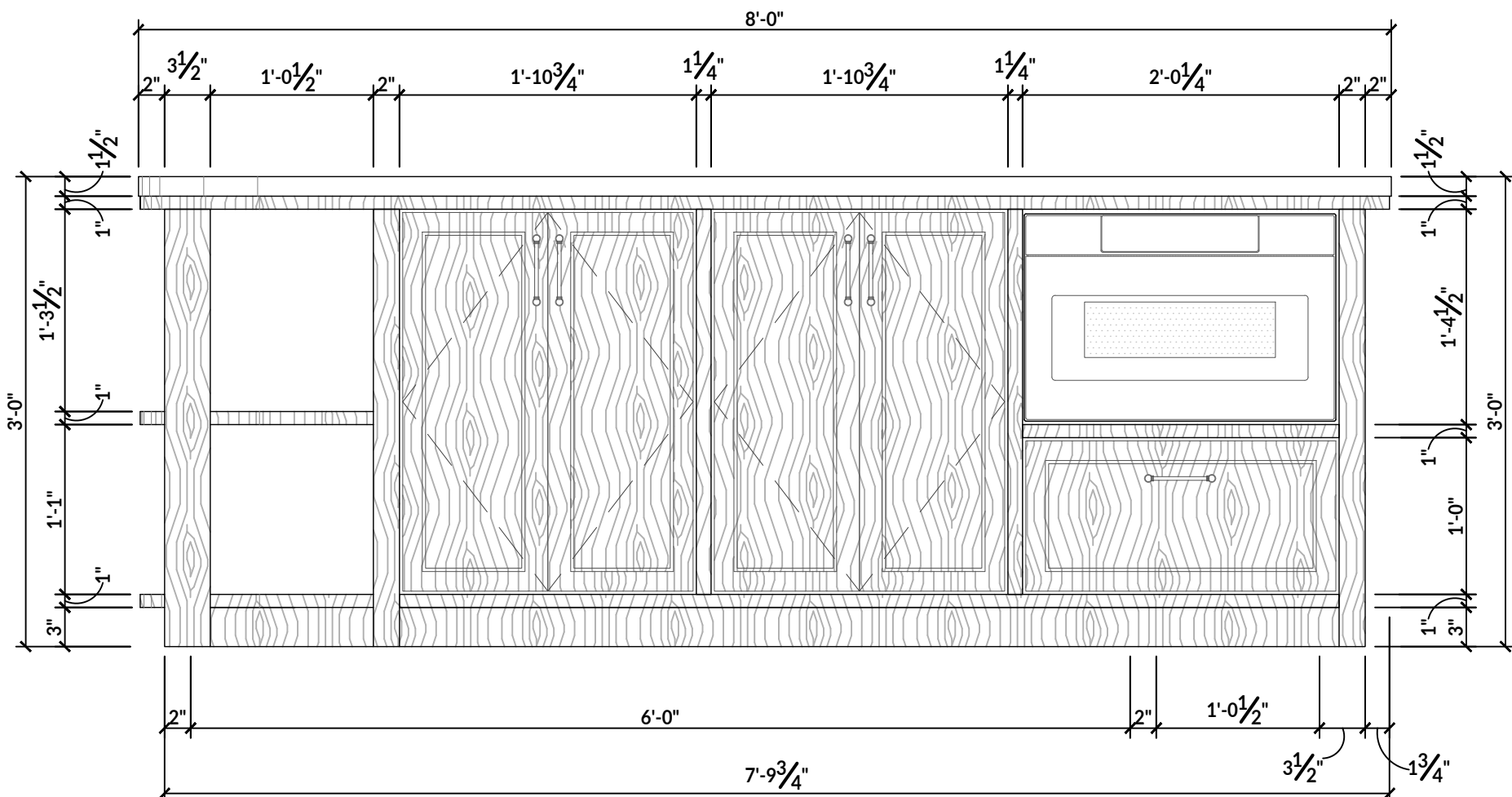
11 TYPICAL DETAILS, 1ST FLOOR
SCALE: 0' - 1/4" = 1' - 0"



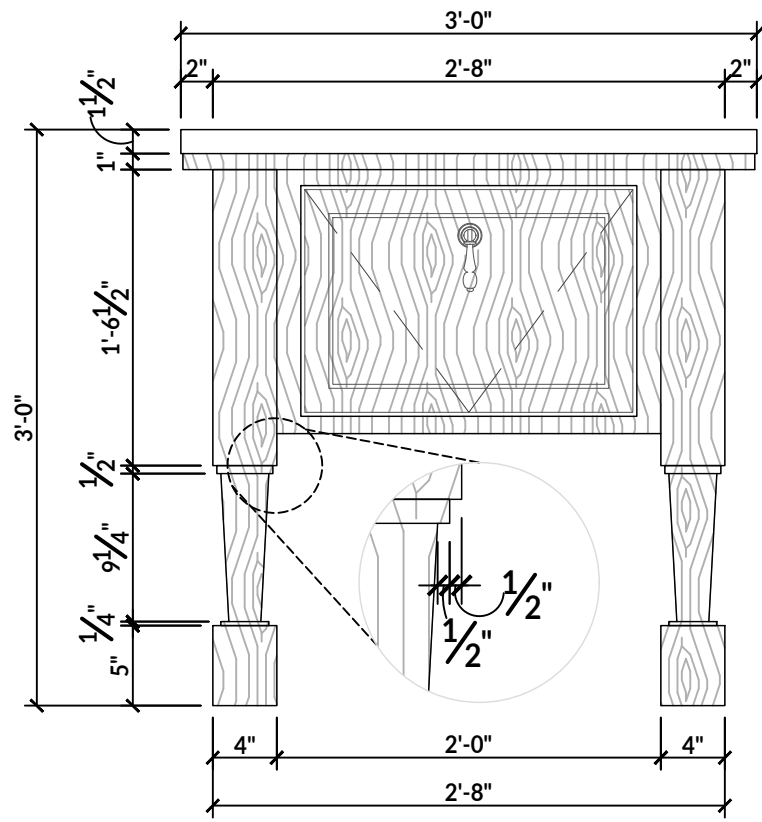
7 TYPICAL DETAILS, 2ND FLOOR
SCALE: 0' - 1/4" = 1' - 0"



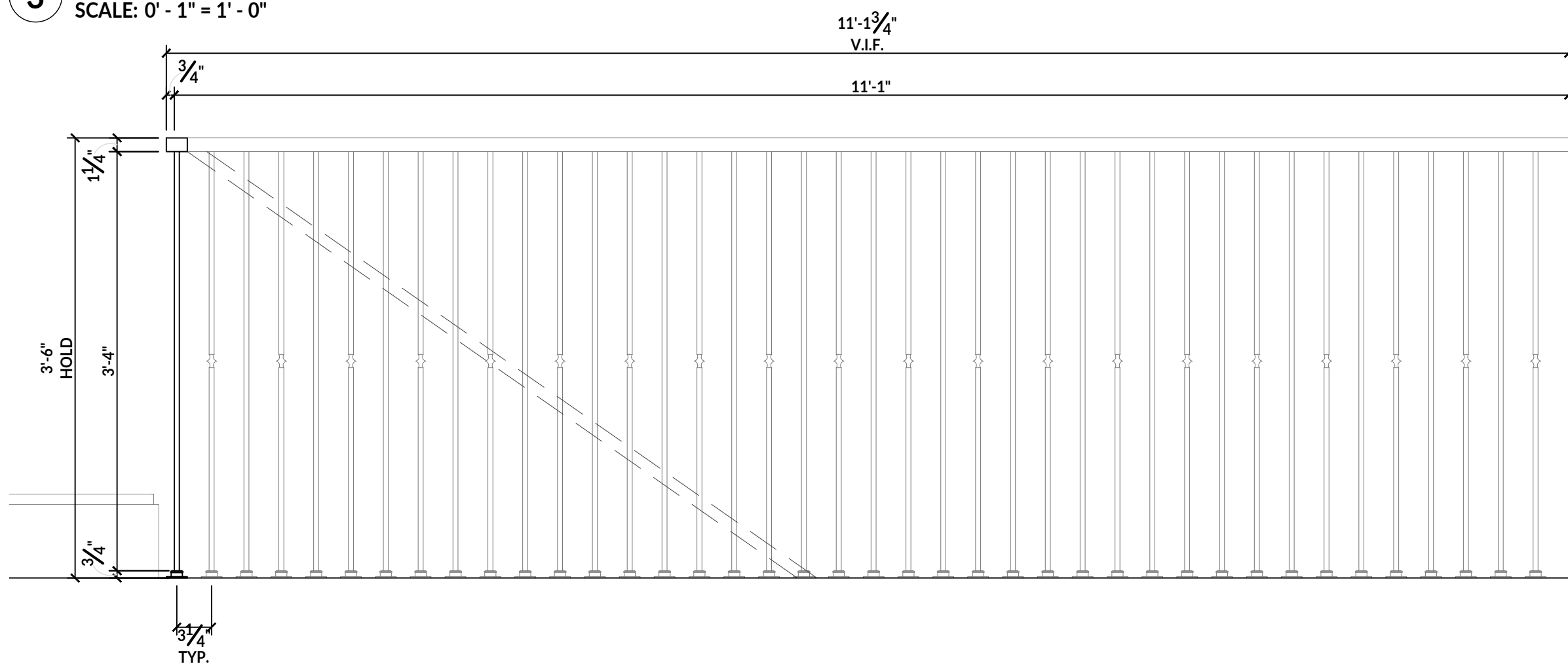
3 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



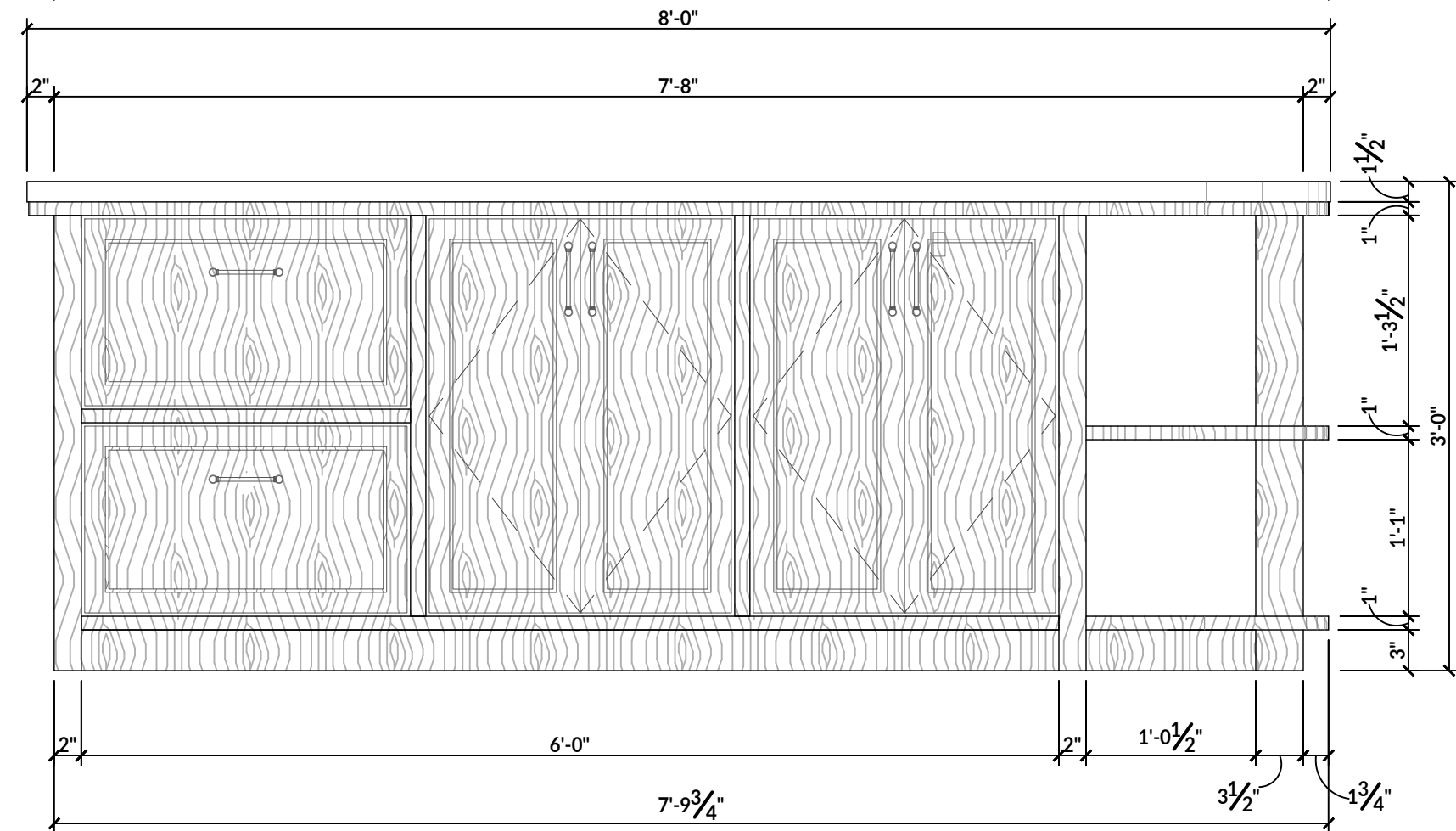
10 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



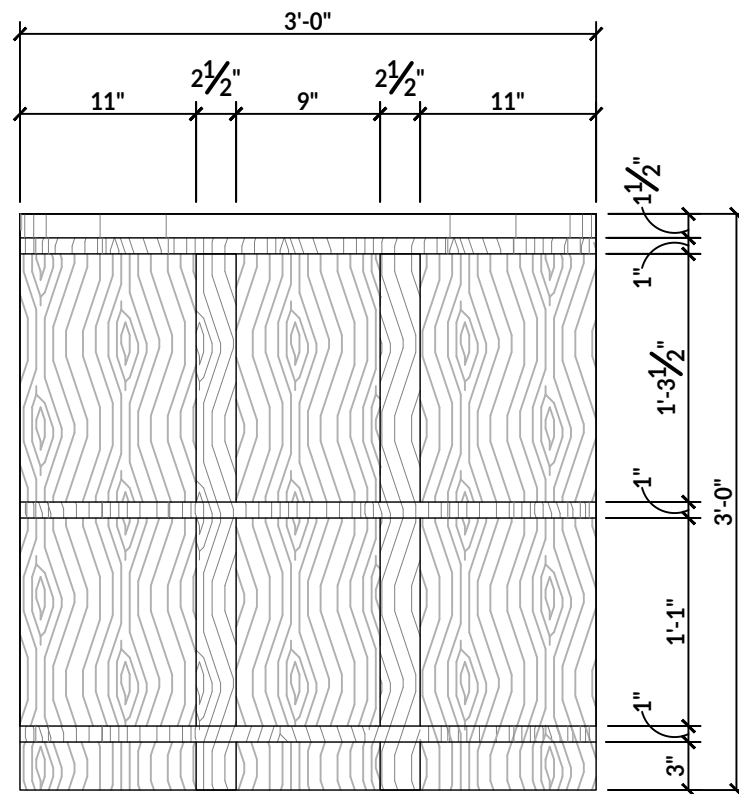
6 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



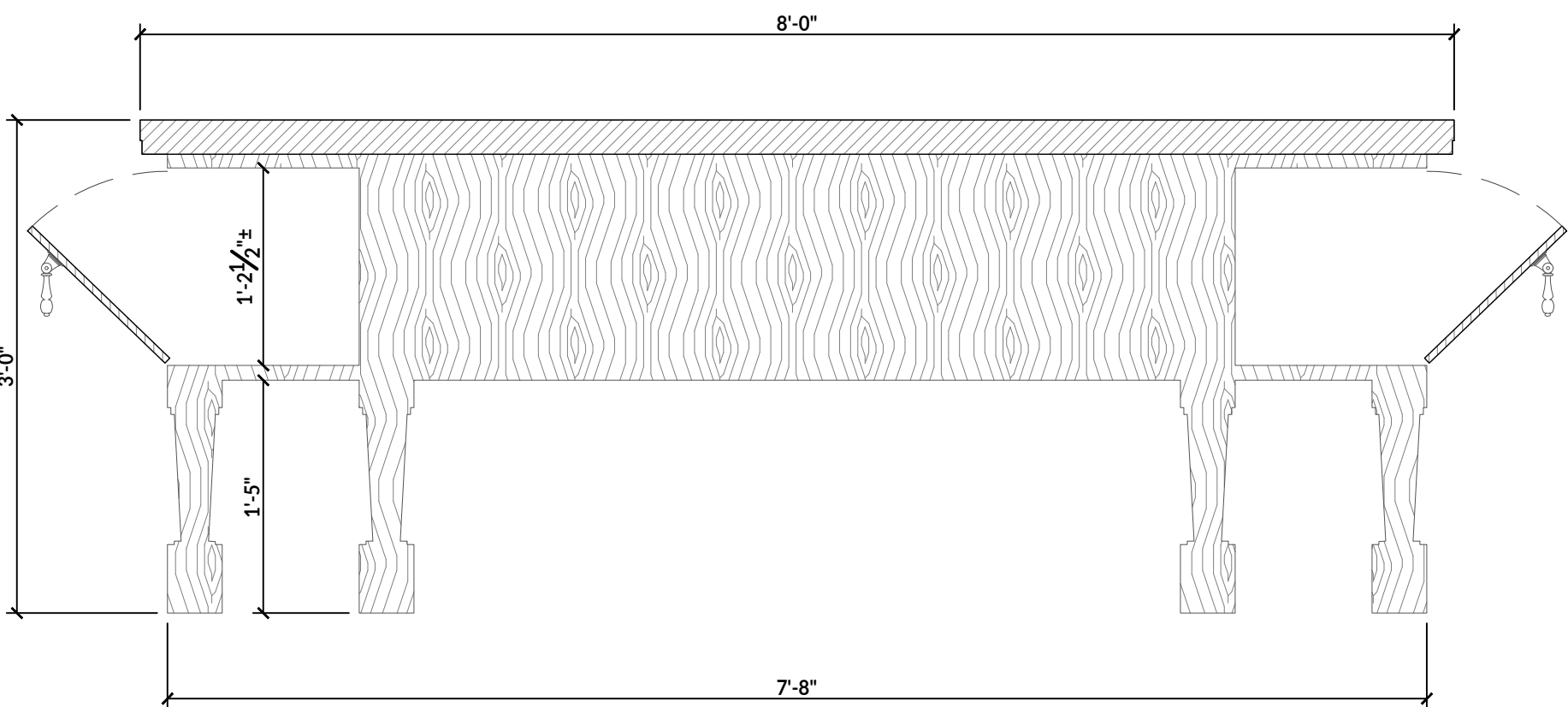
2 ENLARGED STAIR BALUSTERS
SCALE: 0' - 1" = 1' - 0"



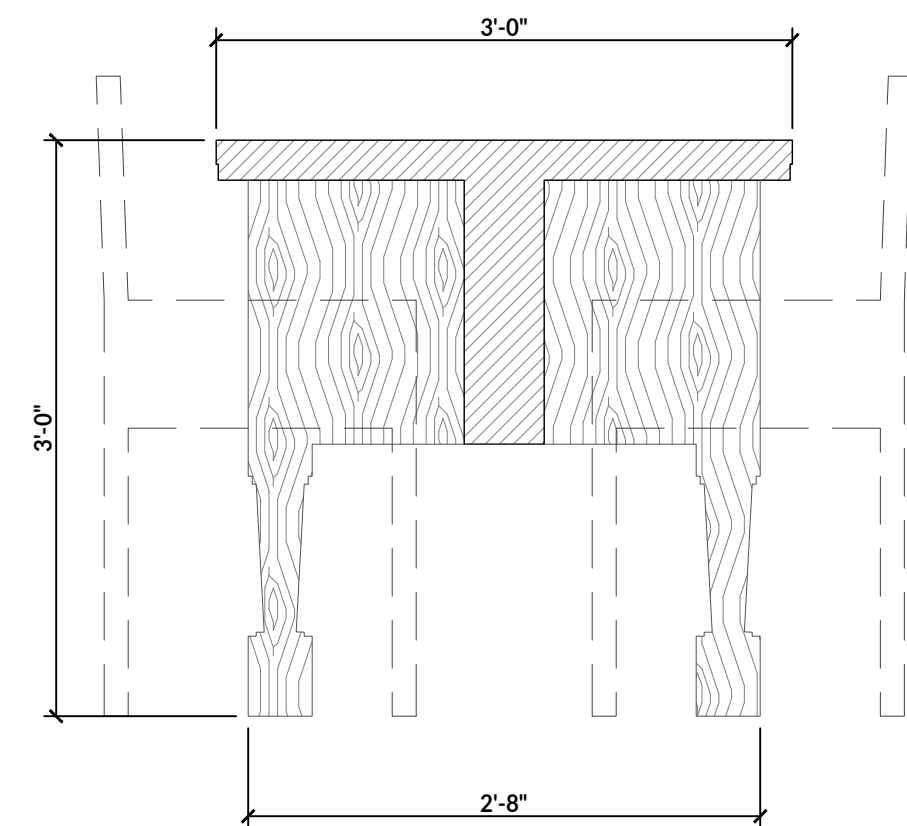
9 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



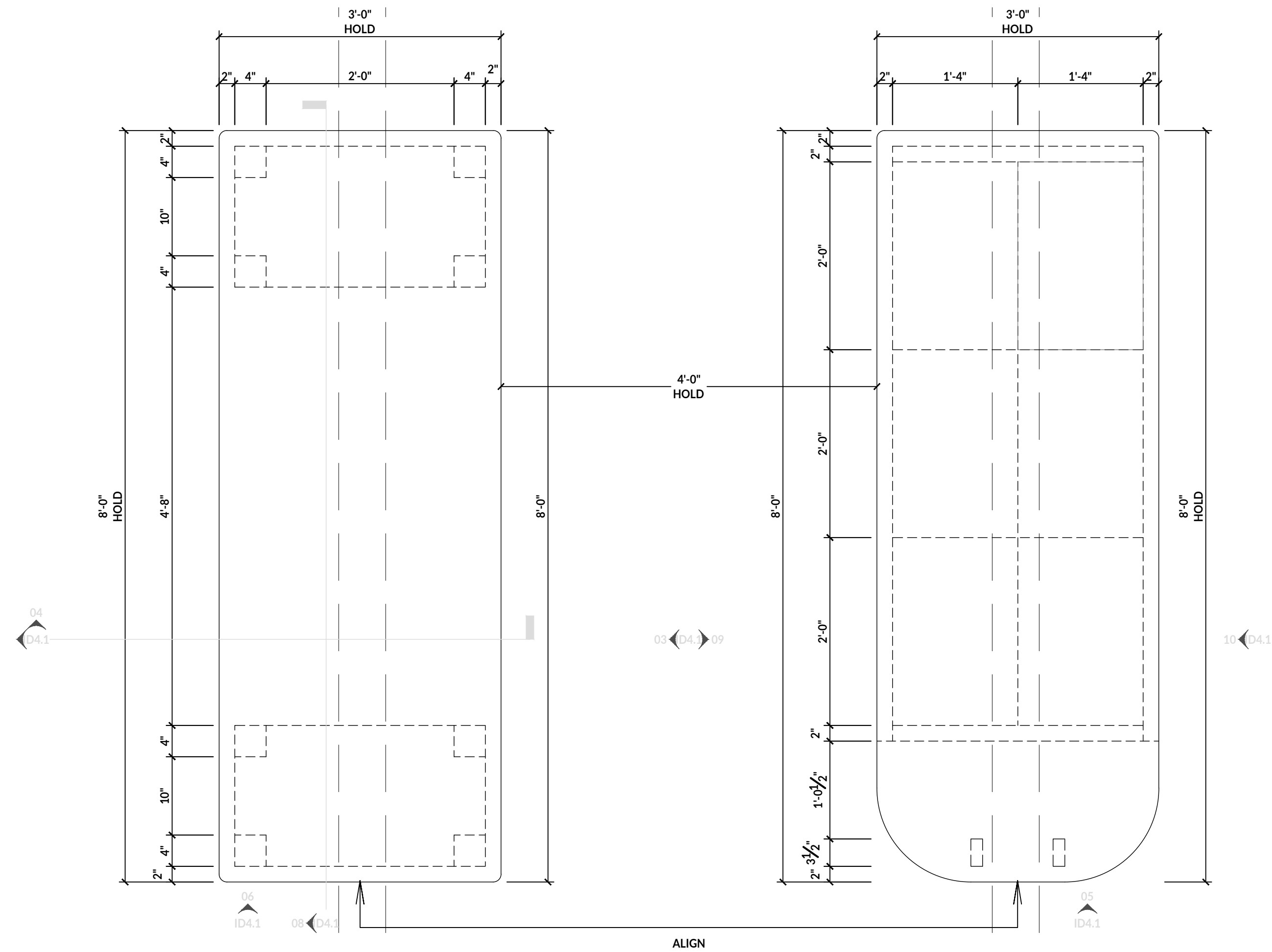
5 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



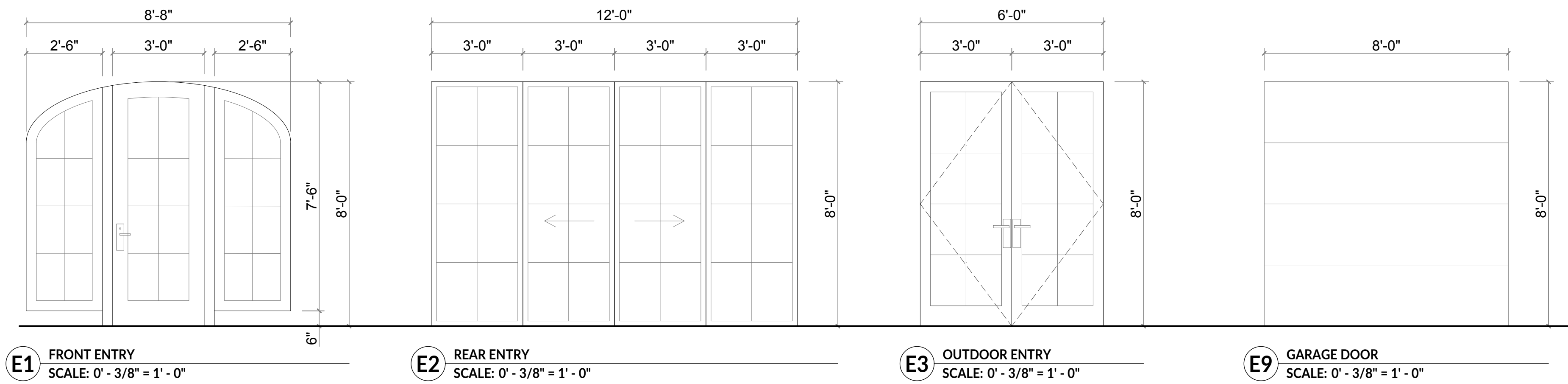
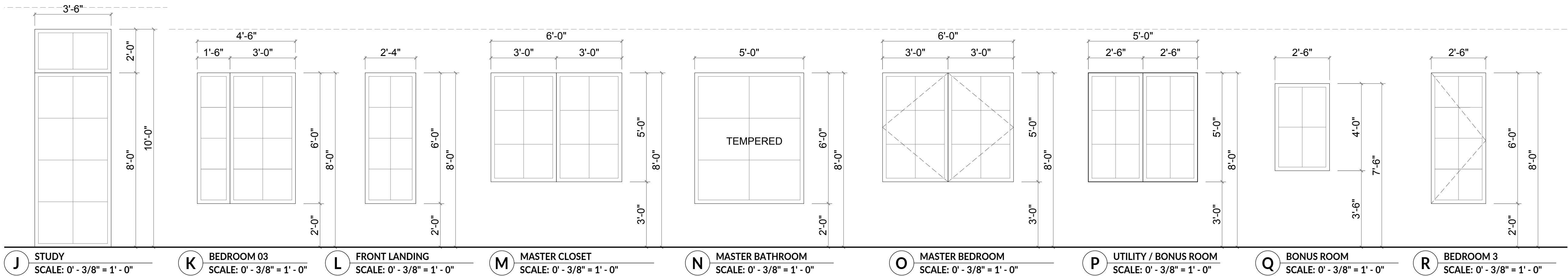
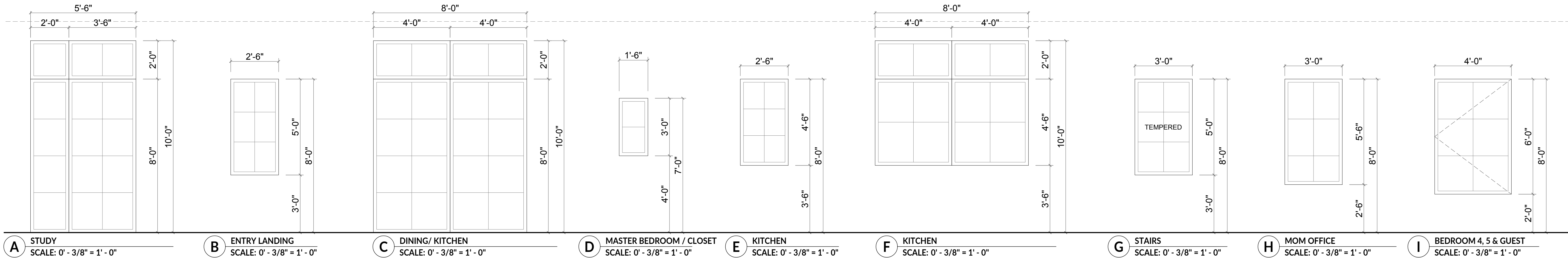
8 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



4 ENLARGED KITCHEN ISLAND ELEVATION
SCALE: 0' - 1" = 1' - 0"



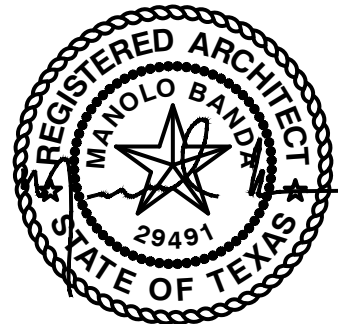
1 ENLARGED KITCHEN ISLAND VIEW
SCALE: 0' - 1" = 1' - 0"



DOOR SCHEDULE													
DOOR		DOOR SIZE				DOOR TYPE							
NO.	TYPE	PAIR/POCKET	WIDTH	HEIGHT	THICK	MAT'L	FINISH	HOLLOW METAL	HOLLOW CORE WD	SOLID CORE	FIXED	GLASS	SCREEN DOOR
E1	SWING	PAIR	8'-8"	8'-0"								X	
E2	SLIDING		12'-0"	8'-0"								X	
E3	SWING		6'-0"	8'-0"								X	
E9	SWING		18'-0"	8'-0"									X
3 - GARAGE DOOR, ALL HRDW. INCLUDED													

WINDOW SCHEDULE							MATCH TO CLOSEST STANDARD SIZE				
WINDOW	WINDOW SIZE		REMARKS	WINDOW TYPE				FRAME TYPE			NOTES
	WIDTH	HEIGHT		Tempered Glass	Casement	Single Hung	Fixed	Wood Clad	Aluminum	Fiberglass	
A	5'-6"	10'-0"			X			X			
B	2'-6"	5'-0"			X			X			
C	8'-0"	10'-0"			X			X			
D	1'-6"	3'-0"			X			X			
E	2'-6"	4'-6"			X			X			
F	8'-0"	6'-6"			X			X			
G	3'-0"	5'-0"		X	X			X			
H	3'-0"	5'-6"			X			X			
I	4'-0"	6'-0"			X			X			
J	3'-6"	10'-0"			X			X			
K	4'-6"	6'-0"			X			X			
L	2'-4"	6'-0"			X			X			
M	6'-0"	5'-0"			X			X			
N	5'-0"	6'-0"		X	X			X			
O	6'-0"	5'-0"			X			X			
P	5'-0"	5'-0"			X			X			
Q	2'-6"	4'-0"			X			X			
R	2'-6"	6'-0"			X			X			

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PROJECT ISSUE DATE: 23.06.28

DRAWING TITLE:

WINDOW & DOOR
SCHEDULE

SCALE: As indicated

DRAWING NUMBER:

A6.1



REVISIONS:	
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DRAWN BY: EG

PROJECT NO: 22014

PROJECT ISSUE DATE: 23.06.28

DRAWING TITLE:

1ST FLOOR LIGHTING
PLAN

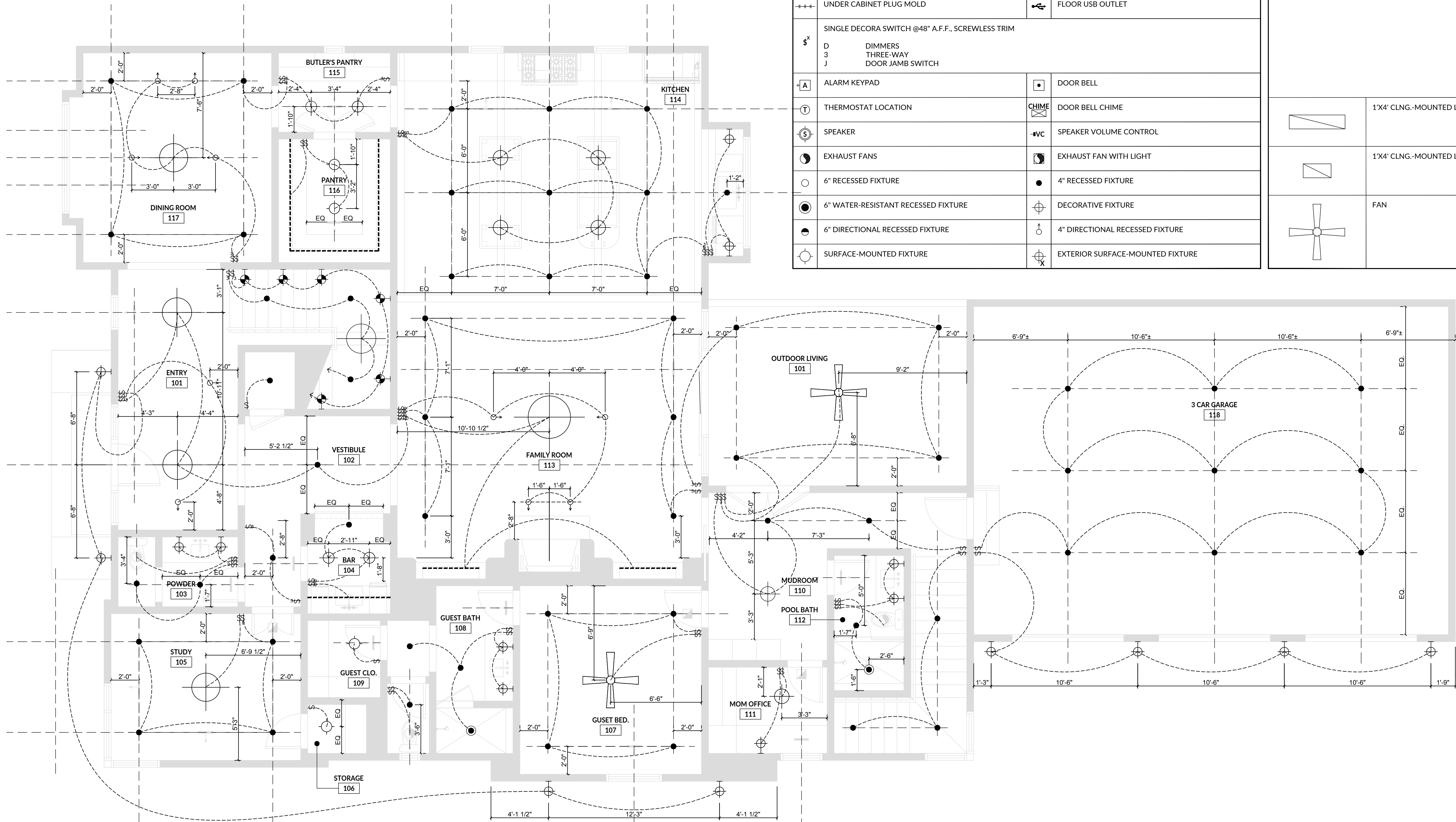
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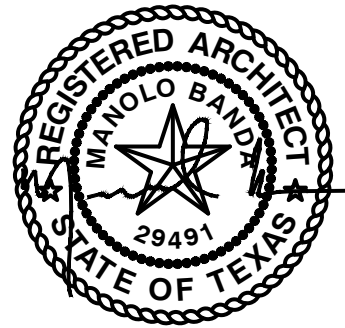
DRAWING NUMBER:

ELECTRICAL & POWER LEGEND

	DUPLEX CENTERED ON BASE U.N.O. - DECORA PLUG, SCREWLESS TRIM		220 WATTAGE OUTLET REQUIRED
	WATERPROOF HOUSING		JUNCTION BOX
	HORIZONTAL FACEPLATE		SMOKE DETECTOR
	EXTERNAL RATED PLUG		FLOOR PHONE & DATA OUTLET
	FLOOR OUTLET		FLOOR DATA OUTLET
	DEDICATED POWER REQUIRED @ OUTLET		FLOOR TELEPHONE OUTLET
	RAISED DUPLEX OUTLET (VERTICAL @42" A.F.F.)		FLOOR USB OUTLET
	TELEPHONE AND DATA OUTLET (SAME FACEPLATE)		
	DATA OUTLET		
	A/V OUTLET		
	UNDER CABINET PLUG MOLD		
	SINGLE DECORA SWITCH @48" A.F.F., SCREWLESS TRIM		
	DIMMERS		DOOR BELL
	THREE-WAY		DOOR BELL CHIME
	DOOR JAMB SWITCH		SPEAKER VOLUME CONTROL
	ALARM KEYPAD		EXHAUST FAN WITH LIGHT
	THERMOSTAT LOCATION		4" RECESSED FIXTURE
	SPEAKER		DECORATIVE FIXTURE
	EXHAUST FANS		4" DIRECTIONAL RECESSED FIXTURE
	6" RECESSED FIXTURE		SURFACE-MOUNTED FIXTURE
	6" WATER-RESISTANT RECESSED FIXTURE		
	6" DIRECTIONAL RECESSED FIXTURE		
	SURFACE-MOUNTED FIXTURE		

	WALL-MOUNTED SCONCE		EXTERIOR WALL-MOUNTED SCONCE
LIGHTING FIXTURE SCHEDULE: EXTERIOR LIGHTING FIXTURES: ELF-01 [INSERT PRODUCT NAME] ELF-02 [INSERT PRODUCT NAME] ELF-03 [INSERT PRODUCT NAME] INTERIOR LIGHTING FIXTURES: LF-01 [INSERT PRODUCT NAME] LF-02 [INSERT PRODUCT NAME] LF-03 [INSERT PRODUCT NAME]			
	1'X4' CLNG.-MOUNTED LED FIXT.		UNDER CABINET LIGHTING
	1'X4' CLNG.-MOUNTED LED FIXT.		TRACK LIGHTING
	FAN		STEP LIGHTS





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PROJECT NO: 22014	
PROJECT ISSUE DATE: 23.06.28	
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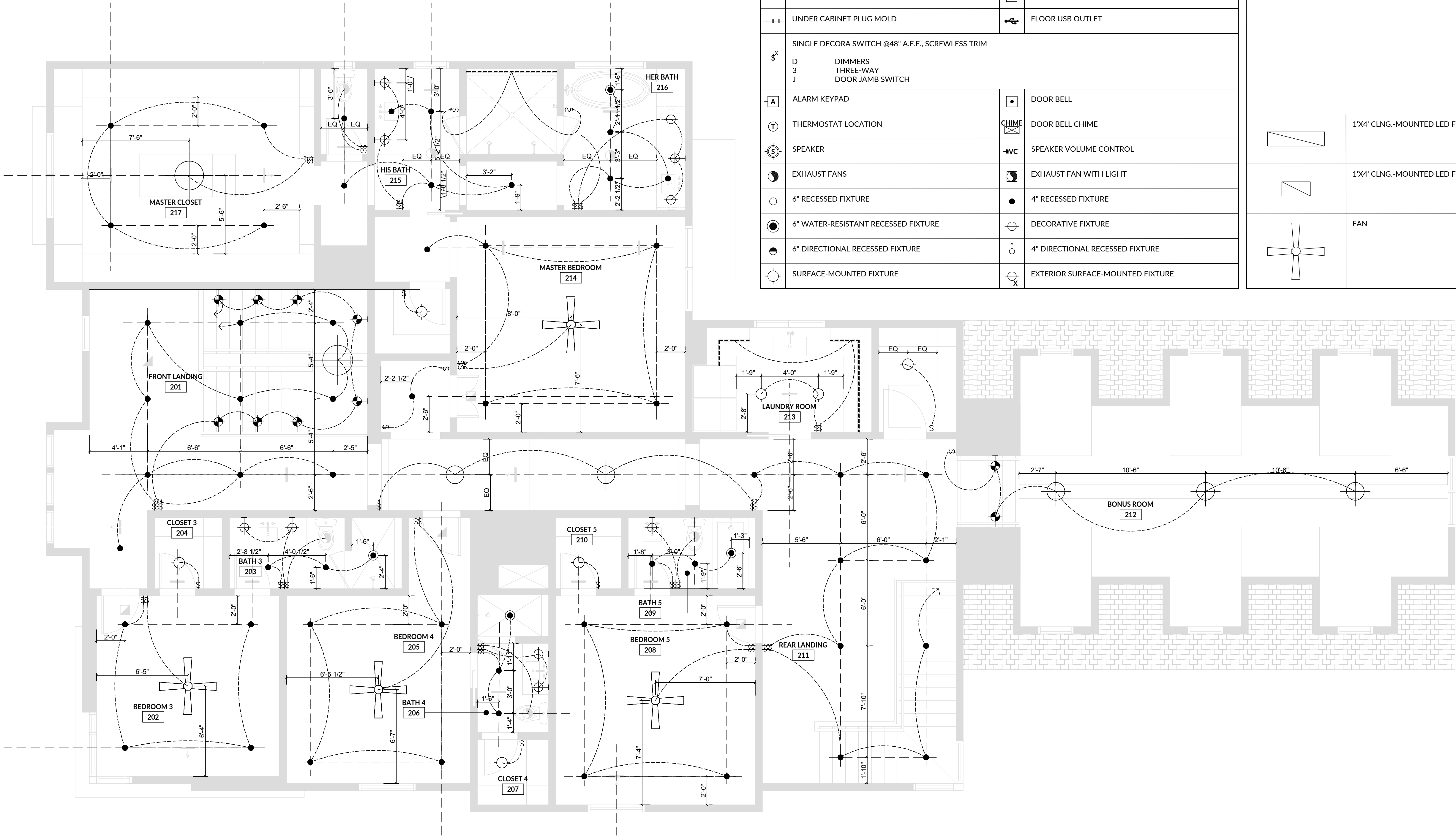
2ND FLOOR LIGHTING
PLAN

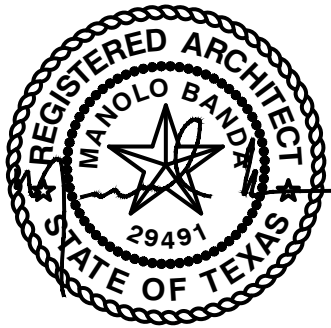
SCALE: As indicated
DRAWING NUMBER:

ELECTRICAL & POWER LEGEND

	DUPLEX CENTERED ON BASE U.N.O. - DECORA PLUG, SCREWLESS TRIM	
	WP	WATERPROOF HOUSING
	HZL	HORIZONTAL FACEPLATE
	GFCI	GROUND FAULT
	EXT	EXTERNAL RATED PLUG
	FLOOR OUTLET	220 WATTAGE OUTLET REQUIRED
	DEDICATED POWER REQUIRED @ OUTLET	JUNCTION BOX
	RAISED DUPLEX OUTLET (VERTICAL @42" A.F.F.)	SMOKE DETECTOR
	TELEPHONE AND DATA OUTLET (SAME FACEPLATE)	FLOOR PHONE & DATA OUTLET
	DATA OUTLET	FLOOR DATA OUTLET
	A/V OUTLET	FLOOR TELEPHONE OUTLET
	UNDER CABINET PLUG MOLD	FLOOR USB OUTLET
	SINGLE DECORA SWITCH @48" A.F.F., SCREWLESS TRIM	
	D	DIMMERS
	3	THREE-WAY
	J	DOOR JAMB SWITCH
	ALARM KEYPAD	DOOR BELL
	THERMOSTAT LOCATION	DOOR BELL CHIME
	SPEAKER	SPEAKER VOLUME CONTROL
	EXHAUST FANS	EXHAUST FAN WITH LIGHT
	6" RECESSED FIXTURE	4" RECESSED FIXTURE
	6" WATER-RESISTANT RECESSED FIXTURE	DECORATIVE FIXTURE
	6" DIRECTIONAL RECESSED FIXTURE	4" DIRECTIONAL RECESSED FIXTURE
	SURFACE-MOUNTED FIXTURE	EXTERIOR SURFACE-MOUNTED FIXTURE

	WALL-MOUNTED SCONCE		EXTERIOR WALL-MOUNTED SCONCE
LIGHTING FIXTURE SCHEDULE: EXTERIOR LIGHTING FIXTURES: ELF-01 [INSERT PRODUCT NAME] ELF-02 [INSERT PRODUCT NAME] ELF-03 [INSERT PRODUCT NAME] INTERIOR LIGHTING FIXTURES: LF-01 [INSERT PRODUCT NAME] LF-02 [INSERT PRODUCT NAME] LF-03 [INSERT PRODUCT NAME]			
	1'X4' CLNG.-MOUNTED LED FIXT.		UNDER CABINET LIGHTING
	1'X4' CLNG.-MOUNTED LED FIXT.		TRACK LIGHTING
	FAN		STEP LIGHTS





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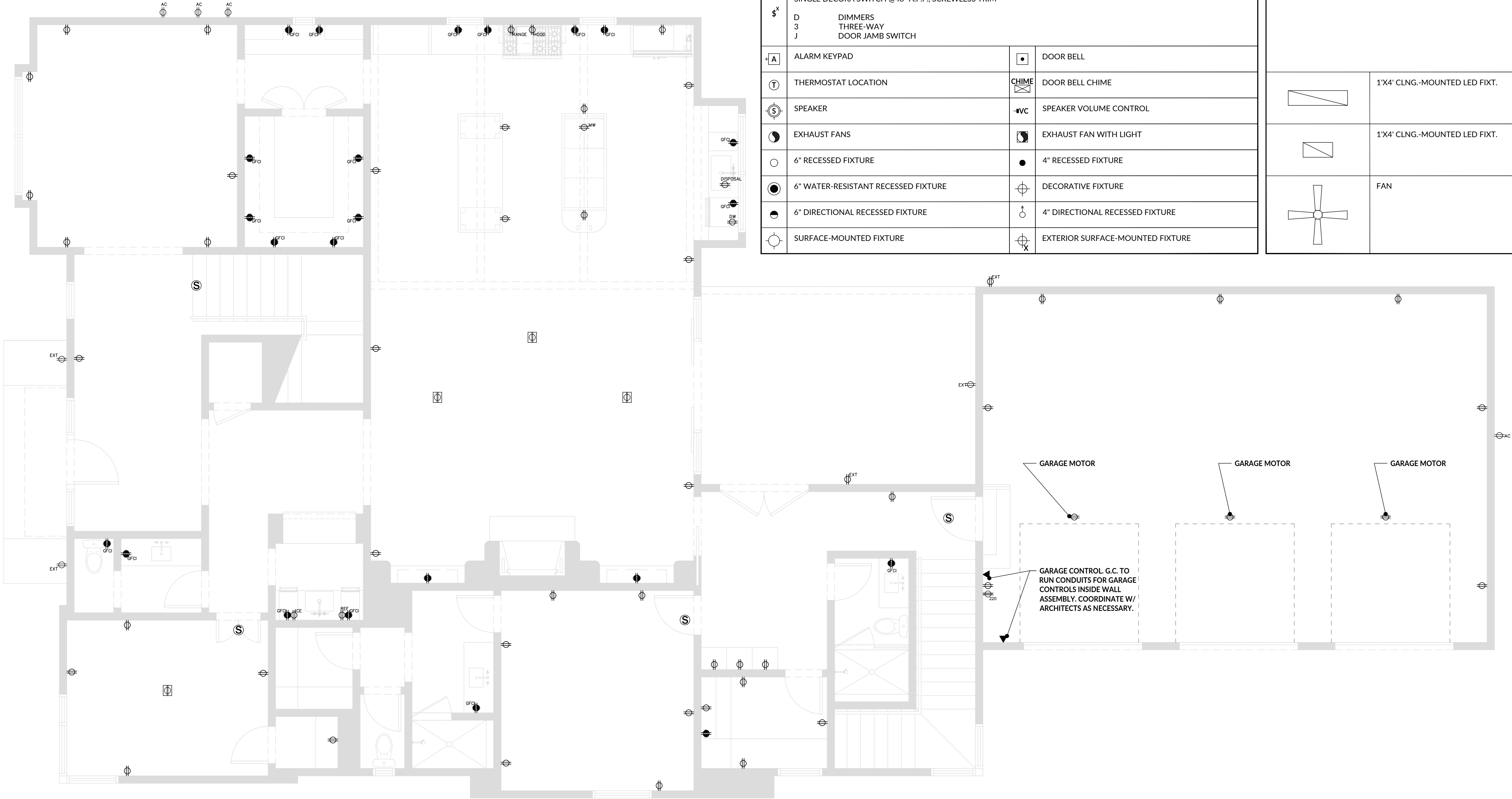
1ST FLOOR POWER PLAN

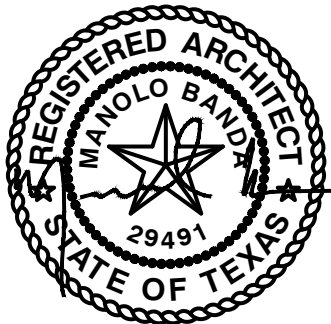
SCALE:	As indicated
DRAWING NUMBER:	

ELECTRICAL & POWER LEGEND

	DUPLEX CENTERED ON BASE U.N.O. - DECORA PLUG, SCREWLESS TRIM	
WP HZL GFCI EXT	WATERPROOF HOUSING HORIZONTAL FACEPLATE GROUND FAULT EXTERNAL RATED PLUG	
	FLOOR OUTLET	220 WATTAGE OUTLET REQUIRED
	DEDICATED POWER REQUIRED @ OUTLET	JUNCTION BOX
	RAISED DUPLEX OUTLET (VERTICAL @42" A.F.F.)	SMOKE DETECTOR
	TELEPHONE AND DATA OUTLET (SAME FACEPLATE)	FLOOR PHONE & DATA OUTLET
	DATA OUTLET	FLOOR DATA OUTLET
	A/V OUTLET	FLOOR TELEPHONE OUTLET
	UNDER CABINET PLUG MOLD	FLOOR USB OUTLET
	SINGLE DECORA SWITCH @48" A.F.F., SCREWLESS TRIM	
D 3 J	DIMMERS THREE-WAY DOOR JAMB SWITCH	
	ALARM KEYPAD	DOOR BELL
	THERMOSTAT LOCATION	DOOR BELL CHIME
	SPEAKER	SPEAKER VOLUME CONTROL
	EXHAUST FANS	EXHAUST FAN WITH LIGHT
	6" RECESSED FIXTURE	4" RECESSED FIXTURE
	6" WATER-RESISTANT RECESSED FIXTURE	DECORATIVE FIXTURE
	6" DIRECTIONAL RECESSED FIXTURE	4" DIRECTIONAL RECESSED FIXTURE
	SURFACE-MOUNTED FIXTURE	EXTERIOR SURFACE-MOUNTED FIXTURE

	WALL-MOUNTED SCONCE		EXTERIOR WALL-MOUNTED SCONCE
LIGHTING FIXTURE SCHEDULE: EXTERIOR LIGHTING FIXTURES: ELF-01 [INSERT PRODUCT NAME] ELF-02 [INSERT PRODUCT NAME] ELF-03 [INSERT PRODUCT NAME] INTERIOR LIGHTING FIXTURES: LF-01 [INSERT PRODUCT NAME] LF-02 [INSERT PRODUCT NAME] LF-03 [INSERT PRODUCT NAME]			
	1'X4' CLNG.-MOUNTED LED FIXT.		UNDER CABINET LIGHTING
	1'X4' CLNG.-MOUNTED LED FIXT.		TRACK LIGHTING
	FAN		STEP LIGHTS





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PROJECT ISSUE DATE:	23.06.28
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2ND FLOOR POWER PLAN

SCALE: As indicated

DRAWING NUMBER:

ELECTRICAL & POWER LEGEND

	DUPLEX CENTERED ON BASE U.N.O. - DECORA PLUG, SCREWLESS TRIM		
WP HZL GFCI EXT	WATERPROOF HOUSING HORIZONTAL FACEPLATE GROUND FAULT EXTERNAL RATED PLUG		
	FLOOR OUTLET		220 WATTAGE OUTLET REQUIRED
	DEDICATED POWER REQUIRED @ OUTLET		JUNCTION BOX
	RAISED DUPLEX OUTLET (VERTICAL @42" A.F.F.)		SMOKE DETECTOR
	TELEPHONE AND DATA OUTLET (SAME FACEPLATE)		FLOOR PHONE & DATA OUTLET
	DATA OUTLET		FLOOR DATA OUTLET
	A/V OUTLET		FLOOR TELEPHONE OUTLET
	UNDER CABINET PLUG MOLD		FLOOR USB OUTLET
	SINGLE DECORA SWITCH @48" A.F.F., SCREWLESS TRIM		
D 3 J	DIMMERS THREE-WAY DOOR JAMB SWITCH		
	ALARM KEYPAD		DOOR BELL
	THERMOSTAT LOCATION		DOOR BELL CHIME
	SPEAKER		SPEAKER VOLUME CONTROL
	EXHAUST FANS		EXHAUST FAN WITH LIGHT
	6" RECESSED FIXTURE		4" RECESSED FIXTURE
	6" WATER-RESISTANT RECESSED FIXTURE		DECORATIVE FIXTURE
	6" DIRECTIONAL RECESSED FIXTURE		4" DIRECTIONAL RECESSED FIXTURE
	SURFACE-MOUNTED FIXTURE		EXTERIOR SURFACE-MOUNTED FIXTURE

	WALL-MOUNTED SCONCE		EXTERIOR WALL-MOUNTED SCONCE
<p>LIGHTING FIXTURE SCHEDULE:</p> <p>EXTERIOR LIGHTING FIXTURES: ELF-01 [INSERT PRODUCT NAME] ELF-02 [INSERT PRODUCT NAME] ELF-03 [INSERT PRODUCT NAME]</p> <p>INTERIOR LIGHTING FIXTURES: LF-01 [INSERT PRODUCT NAME] LF-02 [INSERT PRODUCT NAME] LF-03 [INSERT PRODUCT NAME]</p>			
	1'X4' CLNG.-MOUNTED LED FIXT.		UNDER CABINET LIGHTING
	1'X4' CLNG.-MOUNTED LED FIXT.		TRACK LIGHTING
	FAN		STEP LIGHTS

