

GENERAL NOTES

1. CONTRACTOR TO REVIEW DRAWINGS BEFORE CONSTRUCTION. CONFLICTS W/ CONTRACTORS STANDARD PRACTICE NEED TO BE BROUGHT TO THE ATTENTION OF MANOLO DESIGN STUDIO LLC & OWNER. CONTRACTOR TO CONFORM TO ALL APPLICABLE BUILDING CODES APPLY FOR ALL PERMITS AND INSPECTIONS TO COMPLETE WORK AS PER CITY AND UNIFORM BUILDING CODES.

2. CONTRACTOR/OWNER ALTERATIONS OR SUBSTITUTIONS TO THE PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO COORDINATE W/ THE RELEASED DOCUMENTS.

3. ENERGY CALCULATIONS SHALL BE CONDUCTED BY A THIRD PARTY RECOGNIZED BY THE GOVERNING BODY TO DO SUCH SERVICES.

4. ENERGY TESTING SHALL BE CONDUCTED BY A THIRD PARTY RECOGNIZED BY THE GOVERNING BODY TO DO SUCH SERVICES.

5. FOUNDATION SHALL ADHERE TO DESIGN PROVIDED BY STRUCTURAL ENGINEER. STRUCTURAL DRAWINGS INCLUDED IN THIS SET TO ONLY INDICATE THE DIMENSIONAL GUIDELINES TO LAYOUT THE FOUNDATION AND SHOULD BE COORDINATED W/ ARCHITECTURAL SET.

6. HEATING AND COOLING SYSTEM SHALL BE DESIGNED BY INSTALLER. SUPPLY AND RETURN VENTS SHALL ALIGN WITH LIGHT OR CENTER ON WALLS AND CEILING AREAS. THERMOSTATS SHALL BE LOCATED CENTRALLY 10" FROM JAMB OF ADJACENT DOOR TO AVOID CONFLICT WITH FURNISHINGS & TRIM.

7. DO NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT TO VERIFY ANY DIMENSIONS THAT ARE NOT INDICATED.

8. ALL CONSTRUCTION TO COMPLY WITH APPLICABLE BUILDING CODES AND REGULATED AMENDMENTS AND ANY OTHER LAWS, ORDINANCES, REGULATIONS, OR ANY OTHER BODY HAVING JURISDICTION OVER THE PROJECT.

9. CONTRACTOR SHALL USE HIS BEST EFFORTS, JUDGMENT, AND ABILITIES WITH RESPECT TO THE CONSTRUCTION OF THE PROJECT, AND FURTHER THE INTERESTS OF THE OWNER IN COMPLIANCE WITH THE HIGHEST PROFESSIONAL STANDARDS AND ACCEPTABLE METHODS OF CONSTRUCTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF THE WORK.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISHED BUILDING MEETS OR EXCEEDS ALL REQUIREMENTS OF THE 2015 IECC, AND SHALL BE RESPONSIBLE FOR COMPLETING ASSOCIATED SUBMITTALS TO THE AUTHORITY HAVING JURISDICTION SHOULD THE FINISHED BUILDING FAIL TO MEET ANY OF THE REQUIREMENTS OF THE 2015 IECC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES AND RESUBMITTING FOR JURISDICTIONAL REVIEW/ APPROVAL.

11. ANY ERRORS, OMISSIONS, AND INCONSISTENCIES IN DRAWINGS, OR AMBIGUITIES BETWEEN DRAWINGS AND SITE CONSTRUCTION CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR THE OWNER. FAILURE TO NOTIFY THE OWNER AND THE ARCHITECT IN SUCH AN EVENT WILL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARD TO DELAYS, COST, AND LEGAL REMEDIES RESULTING FROM THIS OR RELATED WORK.

12. CIVIL, STRUCTURAL, MECHANICAL, & LANDSCAPE DRAWINGS ARE PROVIDED BY THE OWNER, OR OTHERS AS AUTHORIZED BY THE OWNER.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN ACCURATE SURVEY OF THE FOUNDATION FORM WORK AFTER IT IS ERECTED AND PRIOR TO THE POURING OF CONCRETE, WHICH CERTIFIES THAT THE STRUCTURE WITHIN THE ALLOWABLE BUILDING AREA FOR THE PROJECT. PROVIDE ONE COPY EACH TO OWNER & ARCHITECT.

14. EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE WORK SHALL BE ACCORDING TO RECOMMENDATIONS FROM THE ENGINEERED SOILS REPORT (PROVIDED BY THE OWNER), AND ACCEPTABLE PRACTICES OF CONSTRUCTION.

15. CONTRACTOR SHALL VERIFY WITH OWNER ALL INTERIOR AND EXTERIOR FINISHES PRIOR TO PURCHASING AND INSTALLATION.

16. ATTIC AND CRAWLSPACE (IF ANY) VENTILATION SHALL COMPLY WITH LOCAL CODES.

17. ONCE BUILDING IS ENCLOSED WITH FINISHES, NO FOOD OR DRINK SHALL BE ALLOWED IN BUILDING.

18. KEEP DIRT TO A MINIMUM - WALK OFF MATS SHALL BE PROVIDED AT ENTRANCES - MATS SHALL BE CLEANED DAILY

19. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE IN CONTROL OF THE PROJECT SITE AND SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, SCHEDULING, SEQUENCING, JOBSITE SAFETY, AND COMPLIANCE WITH CONTRACT DOCUMENTS AND BUILDING OFFICIAL DIRECTIONS. ACCORDINGLY, ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO DEFEND, INDEMNIFY, AND HOLD HARMLESS OWNER AND ARCHITECT FROM ANY AND ALL CLAIMS, LOSSES, SUITS, DAMAGES AND LIABILITIES, INCLUDING ATTORNEY'S FEES AND COSTS, ARISING IN ANY WAY FROM SUCH CONTRACTORS' OR SUBCONTRACTORS' SERVICES OR WORK PRODUCT, EXCEPT TO THE EXTENT CAUSED BY ARCHITECT'S SOLE NEGLIGENCE. IN SUPPORT OF THIS OBLIGATION, CONTRACTORS AND SUBCONTRACTORS SHALL INCLUDE OWNER AND ARCHITECT AS ADDITIONAL INSURED UNDER ITS INSURANCE POLICIES APPLICABLE TO THE PROJECT. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DAMAGES, LOSSES, COSTS, OR CLAIMS CAUSED BY CONTRACTORS OR SUBCONTRACTORS, EXCEPT ONLY TO THE EXTENT CAUSED BY ARCHITECT'S SOLE NEGLIGENCE.

20. ARCHITECT SHALL BE ENTITLED TO RELY ON THE ADEQUACY AND ACCURACY OF INFORMATION PROVIDED BY OWNER OR OWNER'S CONSULTANTS. ARCHITECT SHALL COORDINATE SUCH INFORMATION SOLELY FOR INTERFACE WITH ITS SERVICES, AND SHALL NOTIFY OWNER OF ANY ERRORS ACTUALLY IDENTIFIED IN SUCH INFORMATION. ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE OWNER, CONTRACTORS, OTHER CONSULTANTS AND THEIR RESPECTIVE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS OR ENTITIES PERFORMING WORK ON THE PROJECT WHO ARE NOT UNDER THE DIRECT CONTROL OR AUTHORITY OF ARCHITECT.

21. ALL GENERAL CONDITIONS, SPECIAL REQUIREMENTS, OR GENERAL REQUIREMENTS OF THE CONSTRUCTION SPECIFICATIONS OF MATERIAL MANUFACTURERS SHALL APPLY AND BE ADHERED TO.

22. ALL WORK SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS. INDUSTRY STANDARDS SHALL BE AS DETERMINED BY MANUAL OR HANDBOOK OF THE PRIMARY ASSOCIATION OF EACH TRADE. THE MANUALS SHALL INCLUDE, BUT NOT BE LIMITED TO: GYPSUM ASSOCIATION

APA - ENGINEERED WOOD ASSOCIATION
NATIONAL TILE CONTRACTORS ASSOCIATION
STEEL STUD MANUFACTURERS ASSOCIATION
WESTERN WOOD TRUSS ASSOCIATION
CONCRETE BLOCK ASSOCIATION

23. SHOP DRAWINGS OR DRAWINGS PROVIDED BY OTHERS ARE NOT PART OF THE CONTRACT DOCUMENTS. THEY SHALL BE PREPARED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE BUILDER SHALL CERTIFY THE SHOP DRAWINGS.

24. ALL PERMITS AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

25. CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS. DESIGNER AND OWNER SHALL BE NOTIFIED IN ADVANCE OF INSPECTIONS TO ENABLE THE DESIGNER AND OWNER TO BE PRESENT IF DESIRED.

26. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.

27. IT IS THE INTENT OF THE ARCHITECT TO PROVIDE FLEXIBILITY TO THE OWNER IN THE SELECTION OF FIXTURES AND FINISHES. ARCHITECT DOES NOT SELECT SPECIFIC MANUFACTURERS OF PRODUCTS OR FIXTURES UNLESS SUCH PRODUCT HAS A SPECIFIC DESIGN SPECIFICATION OR INTENT, WHERE A SPECIFIC PRODUCT IS SPECIFIED, NO SUBSTITUTIONS OR ALTERNATES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE DESIGNER.

28. VALUE ENGINEERING MAY TAKE PLACE ONLY AFTER AN AWARD OR CONTRACT.

29. WHEN A CONTRACTOR PROPOSES METHODS OF COST REDUCTION (I.E., VALUE ENGINEERING) OR A PROJECT, SUCH PROPOSALS SHALL INCLUDE THE COST OF REVISIONS REQUIRED BY THE DESIGN AND/OR ENGINEERS. THE FEES INCURRED BY THE DESIGNER AND/OR ENGINEER SHALL BE PAID FOR BY THE OWNER.

30. WHEN VALUE ENGINEERING ANY PROJECT OR PART OF ANY PROJECT, THE CONTRACTOR SHALL DOCUMENT EACH COMPONENT COST IN A SCHEDULE THAT IS PROVIDED TO THE OWNER FOR REVIEW. THE SCHEDULE SHALL SHOW THE COST OF CONSTRUCTION PRIOR TO AND AFTER VALUE ENGINEERING AND SHALL INCLUDE ADDITIONS AND REDUCTIONS OF BOTH MATERIALS AND LABOR FOR EACH ITEM.

31. THE VALUE ENGINEERING SCHEDULE SHALL INCLUDE ALL TRADES AFFECTED.

32. ADJACENT PROPERTIES, STREETS AND WALKS ARE TO BE PROTECTED FROM DAMAGE AT ALL TIMES.

CURRENT CITY CODES

2015 INTERNATIONAL BUILDING CODE W/ A.M.D.
2015 INTERNATIONAL PLUMBING CODE W/ A.M.D.
2015 INTERNATIONAL MECHANICAL CODE W/ A.M.D.
2014 NATIONAL ELECTRICAL CODE W/ A.M.D.
2015 INTERNATIONAL RESIDENTIAL CODE W/ A.M.D.
2015 INTERNATIONAL RESIDENTIAL EXISTING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ A.M.D.
2015 INTERNATIONAL FUEL AND GAS CODE W/ A.M.D.
2015 INTERNATIONAL GREEN CONSTRUCTION CODE W/ A.M.D.

2015 IECC PRESCRIPTIVE REQUIREMENTS (NTCOG AMENDED)

INSULATION (MIN.)
ATTIC: R-36
NO ATTIC: R-30
2X4 WALLS: R-13+3 (R-13 CAVITY + R-3 INSULATING SHEATHING)
2X6 WALLS: R-19
UNDERFLOOR OVER UNCONDITIONED SPACE: R-19

FENESTRATION (MAX.)
WINDOWS & GLASS DOORS: U-FACTOR 0.35, SHGC 0.25
SKYLIGHTS: U-FACTOR 0.55, 0.25 SHGC

MECHANICAL SYSTEMS (MIN.)
14 SEER
SUPPLY DUCTS IN UNCONDITIONED SPACE: R-6
RETURN DUCTS IN UNCONDITIONED SPACE: R-6
REFRIGERANT PIPING: R-3
HOT WATER PIPING: R-3

LIGHTING
75% OF THE PERMANENTLY INSTALLED LIGHT FIXTURES TO HAVE HIGH EFFICIENCY LAMPS (CFL OR LED)

FRAMING NOTES

1. UTILIZATION OF FOLLOWING CHECKLIST DOES NOT RELIEVE THE CONTRACTOR OF MEETING ALL OF REQUIREMENTS OF THE LAW. IT IS INCUMBENT ON ANYONE PERFORMING RESIDENTIAL CONSTRUCTION TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE ASPECTS OF THE CURRENT BUILDING CODE TO ASSURE THAT STRUCTURES THEY ARE BUILDING MEET THE CURRENT BUILDING CODE.
2. ALL FRAMING SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2015 EDITION.
3. ALL WOOD FRAMING AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, BY THE NIPRA, THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND SHALL MEET THE REQUIREMENTS OF THE IRC. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE IRC.
4. ALL FRAMING LUMBER SHALL BE NO2 OR BETTER SOUTHERN PINE. ALL STUD WALLS AND PARTITIONS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED (REF: ENGINEER DWGS). ALL PLUMBING WALLS ARE 2X6 @ 16" O.C. BLOCK ALL STUD WALLS AT MID HEIGHT.
5. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. RAMSET BOTTOM PLATE OF STUD WALLS TO CONCRETE WITH 1/4" RAMSETS @ 16" O.C. EXTERIOR BASE PLATES SHALL BE ANCHORED @ 24" O.C. W/ 1/2" X 10", MIN EMBEDMENT OF 8". ANCHOR BOLTS USING 3"x3" WASHER, ONE ANCHOR BOLT SHALL BE WITHIN 6" TO 12" OF EACH PLATE AND WITHIN 12" OF ALL CORNERS. PROVIDE HOLD DOWN ANCHORS @ ENDS OF ALL SHEAR PANELS/WALLS ALSO SEE NOTE 12.
6. WOOD CROSS BRIDGING, BLOCKING, AND BRACING SHALL BE PROVIDED PER BUILDING CODE TO MAXIMIZE SPACING FOR SHEATHING NAILING.
7. GABLE ENDS TO BE BUILT SIMILAR TO AND CONNECTED WITH WALL STUDS BELOW. BRACE GABLE ENDS AGAINST LATERAL LOADS.
8. PROVIDE APA RATED 4XBX1/2" PLYWOOD WIND BRACING ON ALL EXTERIOR WALLS FROM SLAB TO UNDERSIDE OF RAFTERS.
9. JOIST HANGERS SHALL BE 16 GA. TYPE "U" AS MANUFACTURED BY SIMPSON STRONG-TIES CO OR EQUIV. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR JOIST AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE SAME SIZE AS THE MEMBER SUPPORTED.
10. PLYWOOD SUBFLOORING SHALL BE APA RATED 48/24, 3/4" THICK TONGUE & GROOVE.
11. ROOF SHEATHING SHALL BE OSB. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS. NAILS TO BE EITHER 8D COMMON OR 10D BOX NAILS.

12. CEILING SHEATHING SHALL BE OSB. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS. NAILS TO BE EITHER 8D COMMON OR 10D BOX NAILS.
13. ROOF SHEATHING SHALL BE OSB. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS. NAILS TO BE EITHER 8D COMMON OR 10D BOX NAILS.
14. OTHER SHEATHING TO BE NAILED AT 6" O.C. AT EDGES AND 12" O.C. IN THE CENTER OF THE SHEATHING PANELS. SHEATHING AT GABLE RAKES SHALL BE NAILED AT 4" O.C. AT OUTLOOK BLOCK & AT SOLID BLOCKING OVER GABLE STUD TOP PLATE.
15. PROTECT EXISTING ROOFS FOR DURATION OF WORK.
16. CONTINUOUS FULLY-ADHERED ROOFING MEMBRANE TO BE APPLIED SHINGLE STYLE OVER ENTIRE ROOF INCLUDING OVERHANGS AT EAVES AND RAKES AND OVER PORCHES AND BREEZEWAY. CONTINUOUS FULLY-ADHERED ROOFING MEMBRANE TO BE EXTENDED MIN. 12" UP/ DOWN EXTERIOR WALL SHEATHING AT ALL ROOF-WALL INTERSECTIONS.

12. ALL BORED HOLES SHALL BE 2" CLEAR FROM THE TOP OF BOTTOM EDGES OF JOIST, NOT LARGER THAN 1 1/4" DIA AND NOT IN THE MIDDLE OF A SPAN.
13. ALL STUDS CUT ANY FOR PLUMBING SHALL BE STRAPPED WITH 1 1/2" WIDE, NO. 24 GAUGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL AND SPIKED TO PLATES.
14. ALL FRAMING SHALL BE COORDINATED WITH HVAC, ELECTRICAL AND PLUMBING REQUIREMENTS.

DEMOLITION NOTES

1. THE NATURE OF THE DEMOLITION PLANS IS TO IDENTIFY THE GENERAL NATURE OF DEMOLITION SCOPE. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING THE EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION SCOPE OF WORK WITH NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES ASSOCIATED WITH DEMOLITION SCOPE OF WORK AND NEW CONSTRUCTION.
4. THE CONTRACTOR SHALL CONSULT WITH STRUCTURAL ENGINEER BEFORE DEMOLITION OF ANY STRUCTURAL MEMBERS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING NECESSARY DURING DEMOLITION AND CONSTRUCTION.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, AND WINDOWS TO REMAIN WITHIN DEMOLITION SCOPE OF WORK FROM DAMAGE DUE TO CONSTRUCTION AND DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING/REPAIRING ANY DAMAGED FINISHES, DOORS, FRAMES, AND WINDOWS TO MATCH EXISTING.
6. PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS, AND FLOORS DISTURBED FOR NEW WORK AND FINISH.
7. ALL WALL FINISHES TO BE REMOVED SHALL BE REMOVED TO FACE OF STUD.
8. THE CONTRACTOR SHALL PROTECT ALL INTERIOR SPACES FROM DAMAGE DUE TO WEATHER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING/REPAIRING ANY DAMAGE DUE TO WEATHER.
9. COORDINATE WITH OWNER RELOCATION OF ANY FURNISHINGS DURING CONSTRUCTION.
10. THE CONTRACTOR IS TO MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND AREAS OUTSIDE OF THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES AND/OR TEMPORARILY TAPING OF JOINTS AND GAPS TO PREVENT DUST MIGRATION.
11. DISPOSAL OF ALL DEMOLISHED OR REMOVED MATERIAL LEGALLY FROM THE SITE. COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
12. IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT AND REMOVE ANY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT NECESSARY TO COMPLETE THE DEMOLITION SCOPE OF WORK. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
13. THE OWNER HAS FIRST RITE OF REFUSAL FOR ALL SALVAGED ITEMS. ITEMS NOT CLAIMED BY THE OWNER BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF FROM THE SITE.
14. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON-SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, AND NOTIFY THE OWNER AND ARCHITECT.
15. EXISTING CONSTRUCTION MAY CONTAIN ASBESTOS CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF ASBESTOS. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
16. EXISTING CONSTRUCTION MAY CONTAIN LEAD CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF LEAD. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
17. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

17. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

18. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

19. COORDINATE WITH OWNER RELOCATION OF ANY FURNISHINGS DURING CONSTRUCTION.
20. THE CONTRACTOR IS TO MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND AREAS OUTSIDE OF THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES AND/OR TEMPORARILY TAPING OF JOINTS AND GAPS TO PREVENT DUST MIGRATION.
21. DISPOSAL OF ALL DEMOLISHED OR REMOVED MATERIAL LEGALLY FROM THE SITE. COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
22. IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT AND REMOVE ANY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT NECESSARY TO COMPLETE THE DEMOLITION SCOPE OF WORK. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
23. THE OWNER HAS FIRST RITE OF REFUSAL FOR ALL SALVAGED ITEMS. ITEMS NOT CLAIMED BY THE OWNER BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF FROM THE SITE.
24. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON-SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, AND NOTIFY THE OWNER AND ARCHITECT.
25. EXISTING CONSTRUCTION MAY CONTAIN ASBESTOS CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF ASBESTOS. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
26. EXISTING CONSTRUCTION MAY CONTAIN LEAD CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF LEAD. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
27. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

28. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

29. COORDINATE WITH OWNER RELOCATION OF ANY FURNISHINGS DURING CONSTRUCTION.
30. THE CONTRACTOR IS TO MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND AREAS OUTSIDE OF THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES AND/OR TEMPORARILY TAPING OF JOINTS AND GAPS TO PREVENT DUST MIGRATION.
31. DISPOSAL OF ALL DEMOLISHED OR REMOVED MATERIAL LEGALLY FROM THE SITE. COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
32. IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT AND REMOVE ANY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT NECESSARY TO COMPLETE THE DEMOLITION SCOPE OF WORK. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
33. THE OWNER HAS FIRST RITE OF REFUSAL FOR ALL SALVAGED ITEMS. ITEMS NOT CLAIMED BY THE OWNER BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF FROM THE SITE.
34. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON-SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, AND NOTIFY THE OWNER AND ARCHITECT.
35. EXISTING CONSTRUCTION MAY CONTAIN ASBESTOS CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF ASBESTOS. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
36. EXISTING CONSTRUCTION MAY CONTAIN LEAD CONTAMINATED PRODUCTS. MATERIALS THOUGHT TO CONTAIN ASBESTOS MUST BE INSPECTED BY AN EPA CERTIFIED INSPECTOR CAPABLE OF SAMPLING FOR THE EXISTENCE OF LEAD. WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT OSHA REGULATIONS & DISPOSED OF IN ACCORDANCE WITH CURRENT EPA REGULATIONS.
37. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

38. THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING, AND EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH

FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO CENTER LINE OF STUD OR EXTERIOR FACE OF BRICK/FOUNDATION.
2. DIMENSIONS TO ROUGH PLUMBING LOCATIONS ARE TO CENTERLINES OF WALL AND ARE INDICATED AS SUCH.
3. DIMENSIONS TO ROUGH-IN PLUMBING, QUANTITY AND SIZE OF PLUMBING STACKS ARE NOT DETERMINED BY FOUNDATION PLUMBING LAYOUT. ROUGH-IN FOR FIXTURES, SHOWERS, AND OTHER REQUIRED SLAB LEAVE OUTS SHOULD BE VERIFIED BY THE PLUMBER BEFORE ROUGH-IN.
4. WINDOWS NOTED ON PLANS NEED TO BE VERIFIED BY FRAMER BEFORE FRAMING TO MAKE SURE WINDOWS ORDERED, AND CURRENT MANUFACTURERS DIMENSIONS ARE ACCURATELY NOTED.
5. WINDOWS SPECIFIED NEED TO BE CHECKED BY CONTRACTOR TO BE SURE CURRENT MANUFACTURING DIMENSIONS EGRESS REQUIREMENTS IN ALL SLEEPING ROOMS.
6. WOOD STUD WALLS 2X4S @ 16" O.C. TO MAXIMUM HEIGHT OF 11 OR 12 FEET SUPPORTING FLOOR, ROOF, AND CEILING. WALL HEIGHTS EXCEEDING 10 FEET REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING. ALL FLOOR PLAN ANGLES ARE 90 OR 45 DEGREES UNLESS OTHERWISE NOTED. EXTERIOR WALLS, WALLS WITH POCKET DOORS, AND WALLS BEHIND WATER CLOSETS SHALL BE 2X6 STUDS WITH 1/4" RAMSETS @ 16" O.C. VENT CLOTHES DRYER AND ALL KITCHEN & BATHROOM EXHAUST FANS TO OUTSIDE.
7. CLEAN INSIDE ALL WALLS @ BRACE TRAP W/ VACUUM PRIOR TO CLOSING WALLS.
8. FIELD VERIFY LOCATION OF ALL EXISTING WALLS AS LOCATIONS MAY DIFFER FROM THOSE SHOWN ON EXISTING PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. VERIFY WOOD SPECIES WITH ARCHITECT IN ALL LOCATIONS WHERE NATURAL OR STAINED WOOD FINISH IS VISIBLE. STAINED WOOD FINISH FLOORING SHALL MATCH STAINED WOOD TRIM TYPICAL. U.N.O.
10. ALL GWB SHALL BE 5/8" THICK U.N.O.
11. JOINTS ABUTTING EXISTING WALLS ARE TO BE TAPED AND FINISHED.
12. CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR ALL MILLWORK AND EQUIPMENT INSTALLATION.
13. INTERIOR PARTITION WALLS ARE FRAMED WITH 2X6 STUDS UNLESS NOTED OTHERWISE.
14. REFER TO POCKET DOOR FRAME KIT FOR INSTALLATION INSTRUCTIONS TO DETERMINE ROUGH OPENING OF POCKET DOOR. COORDINATE W/ ARCH.
15. CEILING HEIGHT NOTED FOR EACH ROOM IS TO FINISHED FACE OF CEILING.

ROOF PLAN NOTES

1. PROTECT EXISTING ROOFS FOR DURATION OF WORK.
2. CONTINUOUS FULLY-ADHERED ROOFING MEMBRANE TO BE APPLIED SHINGLE STYLE OVER ENTIRE ROOF INCLUDING OVERHANGS AT EAVES AND RAKES AND OVER PORCHES AND BREEZEWAY. CONTINUOUS FULLY-ADHERED ROOFING MEMBRANE TO BE EXTENDED MIN. 12" UP/ DOWN EXTERIOR WALL SHEATHING AT ALL ROOF-WALL INTERSECTIONS.

EXCEPT WHERE PORCH OR BREEZEWAY ROOF MEETS WALL.
4. ADDITIONAL STRIP OF FULLY-ADHERED ROOFING MEMBRANE TO BE APPLIED AT ALL ROOF-WALL INTERSECTIONS EXTENDING MIN. 12" OVER ROOF MEMBRANE AND 12" UP FACE OF WALL INSULATION SHEATHING.
14. ALL FRAMING SHALL BE COORDINATED WITH HVAC, ELECTRICAL AND PLUMBING REQUIREMENTS.

CABINETRY NOTES

1. SCRIBE ALL CABINETRY TO THE WALL & FLOORS.
2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR OWNER AND DESIGNER APPROVAL.
3. INSTALL ELECTRICAL PLUGS UNDER ALL UPPER CABINETRY IN KITCHEN AND BUTLER'S PANTRY, U.N.O.
4. A THIN VALANCE TO BE ADDED TO BOTTOM OF UPpers WHERE OUTLETS AND/OR UNDER CABINET LIGHTING IS SPECIFIED.
5. ALL CABINETS SHALL HAVE A 1/8" REVEAL.
6. NO SCREEN MOLD.
7. FIELD VERIFY ALL MEASUREMENTS BEFORE MANUFACTURING AND INSTALLATION.
8. PROVIDE REQ'D BLOCKING FOR ALL WALL CABINET INSTALLATION.
9. PROVIDE ADDITIONAL SUPPORT AT ALL WORK SURFACES AS REQUIRED. SUPPORTS ARE TO BE DISCREET AND SHOULD BE CONCEALED IF POSSIBLE. ALL EXPOSED SIDES TO BE FINISHED TO MATCH ADJACENT.
10. ELECTRICAL DEVICES ARE SHOWN FOR COORDINATION PURPOSES ONLY. REF. ELECTRICAL CONTACT ARCHITECT IF CONFLICTS OCCUR. RECEPTACLES SHOWN IN MILLWORK SHALL HAVE INSULATED EXTENDED SO COVER PLATE WILL MOUNT TO INSIDE FACE OF CABINET.
11. ALL MILLWORK SUBSTRATES AT WET LOCATIONS SHALL BE WEATHER RESISTANT.
12. CAULK AT ALL COUNTERS AND BACKSPLASHES AS REQUIRED. COLOR MATCH CAULK. U.N.O.
13. OUTLETS PROVIDED NEAR SINKS, LAVS, ETC. ARE TO BE GFCR TYPE - REF ELECTRICAL.

MECHANICAL/INDOOR AIR QUALITY NOTES

1. HVAC SYSTEM & GAS TANKLESS WATER HEATER TO BE LOCATED IN ATTIC.
2. AIR FILTERS MUST BE MERV 8 OR GREATER.
3. AIR HANDLERS MUST BE SIZED TO MAINTAIN AIR PRESSURE & EXHAUST.
4. AIR FILTER HOUSING MUST BE AIRTIGHT ABOVE THE GARAGE.
5. PENETRATIONS MUST BE SEALED.
6. FLOOR AND CEILING JOISTS BAYS MUST BE SEALED.
7. PAINTED WALLS & CEILINGS OF CONDITIONED SPACE ADJACENT TO GARAGE.
8. PENETRATIONS MUST SEALED.
9. DOORS MUST HAVE WEATHER STRIPPING.
10. ALL WALLS MUST HAVE BUILT UP BASE TO MATCH EXISTING.
11. SWITCHES: 4'-0" ABOVE FINISH FLOOR TO CENTERLINE OF SWITCH, UNLESS NOTED OTHERWISE.
12. CONVENIENCE OUTLETS: 1'-0" ABOVE FINISH FLOOR TO CENTERLINE OF OUTLET UNLESS NOTED OTHERWISE.
13. INTERIOR WALL BRACKET FIXTURES: 6'-0" ABOVE FINISH FLOOR TO CENTERLINE OF BRACKET UNLESS NOTED OTHERWISE.
14. EXTERIOR WALL BRACKET FIXTURES: 6'-10" ABOVE FINISH WALKING SURFACE TO CENTERLINE OF BRACKET, U.N.O.
15. SMOKE DETECTORS: 110 VOLT. COORDINATE W/ ALARM SYSTEM. DETECTORS TO COMPLY WITH GOVERNING CODES AND REGULATIONS.
16. PROVIDE 220V JUNCTION BOX AND OTHER REQUIRED WIRING FOR HVAC UNITS. VERIFY LOCATIONS WITH CONTRACTOR.
17. VERIFY RANGE VENT POWER REQUIREMENTS WITH THE SUPPLIER.
18. ALL EXTERIOR CONVENIENCE OUTLETS TO BE WATER PROOF AND ON A GROUND FAULT CIRCUIT.
19. ALL RECEPTACLES IN ALL BEDROOMS TO BE AFCI PROTECTED.
20. PLAN LAYOUT IS A GENERAL SUGGESTION EXPECTED TO BE FINALLY REVISED BY OWNER/ ARCHITECT/DESIGNER.
21. ALL SCONES TO BE PLACED AT 68" AFF UNLESS NOTED OTHERWISE.
22. VERIFY ALL HANGING FIXTURE HEIGHTS W/ OWNER/ARCHITECT/DESIGNER.
23. CENTER HANGING FIXTURES IN THE SPACE, UNLESS NOTED OTHERWISE.
24. ELECTRICAL INSTALLATION SHALL LOCATE ROUGH IN A GUIDE TO ROUGH-IN PLUMBING, QUANTITY AND SIZE OF PLUMBING STACKS ARE NOT DETERMINED BY FOUNDATION PLUMBING LAYOUT. ROUGH-IN FOR FIXTURES, SHOWERS, AND OTHER REQUIRED SLAB LEAVE OUTS SHOULD BE VERIFIED BY THE PLUMBER BEFORE ROUGH-IN.
25. WINDOWS NOTED ON PLANS NEED TO BE VERIFIED BY FRAMER BEFORE FRAMING TO MAKE SURE WINDOWS ORDERED, AND CURRENT MANUFACTURERS DIMENSIONS ARE ACCURATELY NOTED.
26. WINDOWS SPECIFIED NEED TO BE CHECKED BY CONTRACTOR TO BE SURE CURRENT MANUFACTURING DIMENSIONS EGRESS REQUIREMENTS IN ALL SLEEPING ROOMS.
27. WOOD STUD WALLS 2X4S @ 16" O.C. TO MAXIMUM HEIGHT OF 11 OR 12 FEET SUPPORTING FLOOR, ROOF, AND CEILING. WALL HEIGHTS EXCEEDING 10 FEET REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING. ALL FLOOR PLAN ANGLES ARE 90 OR 45 DEGREES UNLESS OTHERWISE NOTED. EXTERIOR WALLS, WALLS WITH POCKET DOORS, AND WALLS BEHIND WATER CLOSETS SHALL BE 2X6 STUDS WITH 1/4" RAMSETS @ 16" O.C. VENT CLOTHES DRYER AND ALL KITCHEN & BATHROOM EXHAUST FANS TO OUTSIDE.
28. CLEAN INSIDE ALL WALLS @ BRACE TRAP W/ VACUUM PRIOR TO CLOSING WALLS.
29. FIELD VERIFY LOCATION OF ALL EXISTING WALLS AS LOCATIONS MAY DIFFER FROM THOSE SHOWN ON EXISTING PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
30. VERIFY WOOD SPECIES WITH ARCHITECT IN ALL LOCATIONS WHERE NATURAL OR STAINED WOOD FINISH IS VISIBLE. STAINED WOOD FINISH FLOORING SHALL MATCH STAINED WOOD TRIM TYPICAL. U.N.O.
31. ALL GWB SHALL BE 5/8" THICK U.N.O.
32. JOINTS ABUTTING EXISTING WALLS ARE TO BE TAPED AND FINISHED.
33. CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR ALL MILLWORK AND EQUIPMENT INSTALLATION.
34. INTERIOR PARTITION WALLS ARE FRAMED WITH 2X6 STUDS UNLESS NOTED OTHERWISE.
35. REFER TO POCKET DOOR FRAME KIT FOR INSTALLATION INSTRUCTIONS TO DETERMINE ROUGH OPENING OF POCKET DOOR. COORDINATE W/ ARCH.
36. CEILING HEIGHT NOTED FOR EACH ROOM IS TO FINISHED FACE OF CEILING.

ELECTRICAL NOTES

1. ELECTRICAL INSTALLATION SHALL MEET REQUIREMENTS OF APPROVED CITY CODES AND REGULATIONS.
2. VERIFY UTILITIES AND LOCATIONS WITH CONTRACTOR.
3. SWITCHED CONVENIENCE OUTLETS TO BE SWITCHED AT TOP OUTLET ONLY.
4. SWITCHES: 4'-0" ABOVE FINISH FLOOR TO CENTERLINE OF SWITCH, UNLESS NOTED OTHERWISE.
5. CONVENIENCE OUTLETS: 1'-0" ABOVE FINISH FLOOR TO CENTERLINE OF OUTLET UNLESS NOTED OTHERWISE.
6. INTERIOR WALL BRACKET FIXTURES: 6'-0" ABOVE FINISH FLOOR TO CENTERLINE OF BRACKET UNLESS NOTED OTHERWISE.
7. EXTERIOR WALL BRACKET FIXTURES: 6'-10" ABOVE FINISH WALKING SURFACE TO CENTERLINE OF BRACKET, U.N.O.
8. SMOKE DETECTORS: 110 VOLT. COORDINATE W/ ALARM SYSTEM. DETECTORS TO COMPLY WITH GOVERNING CODES AND REGULATIONS.
9. PROVIDE 220V JUNCTION BOX AND OTHER REQUIRED WIRING FOR HVAC UNITS. VERIFY LOCATIONS WITH CONTRACTOR.
10. VERIFY RANGE VENT POWER REQUIREMENTS WITH THE SUPPLIER.
11. ALL EXTERIOR CONVENIENCE OUTLETS TO BE WATER PROOF AND ON A GROUND FAULT CIRCUIT.
12. ALL RECEPTACLES IN ALL BEDROOMS TO BE AFCI PROTECTED.
13. PLAN LAYOUT IS A GENERAL SUGGESTION EXPECTED TO BE FINALLY REVISED BY OWNER/ ARCHITECT/DESIGNER.
14. ALL SCONES TO BE PLACED AT 68" AFF UNLESS NOTED OTHERWISE.
15. VERIFY ALL HANGING FIXTURE HEIGHTS W/ OWNER/ARCHITECT/DESIGNER.
16. CENTER HANGING FIXTURES IN THE SPACE, UNLESS NOTED OTHERWISE.
17. ELECTRICAL INSTALLATION SHALL LOCATE ROUGH IN A GUIDE TO ROUGH-IN PLUMBING, QUANTITY AND SIZE OF PLUMBING STACKS ARE NOT DETERMINED BY FOUNDATION PLUMBING LAYOUT. ROUGH-IN FOR FIXTURES, SHOWERS, AND OTHER REQUIRED SLAB LEAVE OUTS SHOULD BE VERIFIED BY THE PLUMBER BEFORE ROUGH-IN.
18. WINDOWS NOTED ON PLANS NEED TO BE VERIFIED BY FRAMER BEFORE FRAMING TO MAKE SURE WINDOWS ORDERED, AND CURRENT MANUFACTURERS DIMENSIONS ARE ACCURATELY NOTED.
19. WINDOWS SPECIFIED NEED TO BE CHECKED BY CONTRACTOR TO BE SURE CURRENT MANUFACTURING DIMENSIONS EGRESS REQUIREMENTS IN ALL SLEEPING ROOMS.
20. WOOD STUD WALLS 2X4S @ 16" O.C. TO MAXIMUM HEIGHT OF 11 OR 12 FEET SUPPORTING FLOOR, ROOF, AND CEILING. WALL HEIGHTS EXCEEDING 10 FEET REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING. ALL FLOOR PLAN ANGLES ARE 90 OR 45 DEGREES UNLESS OTHERWISE NOTED. EXTERIOR WALLS, WALLS WITH POCKET DOORS, AND WALLS BEHIND WATER CLOSETS SHALL BE 2X6 STUDS WITH 1/4" RAMSETS @ 16" O.C. VENT CLOTHES DRYER AND ALL KITCHEN & BATHROOM EXHAUST FANS TO OUTSIDE.
21. CLEAN INSIDE ALL WALLS @ BRACE TRAP W/ VACUUM PRIOR TO CLOSING WALLS.
22. FIELD VERIFY LOCATION OF ALL EXISTING WALLS AS LOCATIONS MAY DIFFER FROM THOSE SHOWN ON EXISTING PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
23. VERIFY WOOD SPECIES WITH ARCHITECT IN ALL LOCATIONS WHERE NATURAL OR STAINED WOOD FINISH IS VISIBLE. STAINED WOOD FINISH FLOORING SHALL MATCH STAINED WOOD TRIM TYPICAL. U.N.O.
24. ALL GWB SHALL BE 5/8" THICK U.N.O.
25. JOINTS ABUTTING EXISTING WALLS ARE TO BE TAPED AND FINISHED.
26. CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR ALL MILLWORK AND EQUIPMENT INSTALLATION.
27. INTERIOR PARTITION WALLS ARE FRAMED WITH 2X6 STUDS UNLESS NOTED OTHERWISE.
28. REFER TO POCKET DOOR FRAME KIT FOR INSTALLATION INSTRUCTIONS TO DETERMINE ROUGH OPENING OF POCKET DOOR. COORDINATE W/ ARCH.
29. CEILING HEIGHT NOTED FOR EACH ROOM IS TO FINISHED FACE OF CEILING.

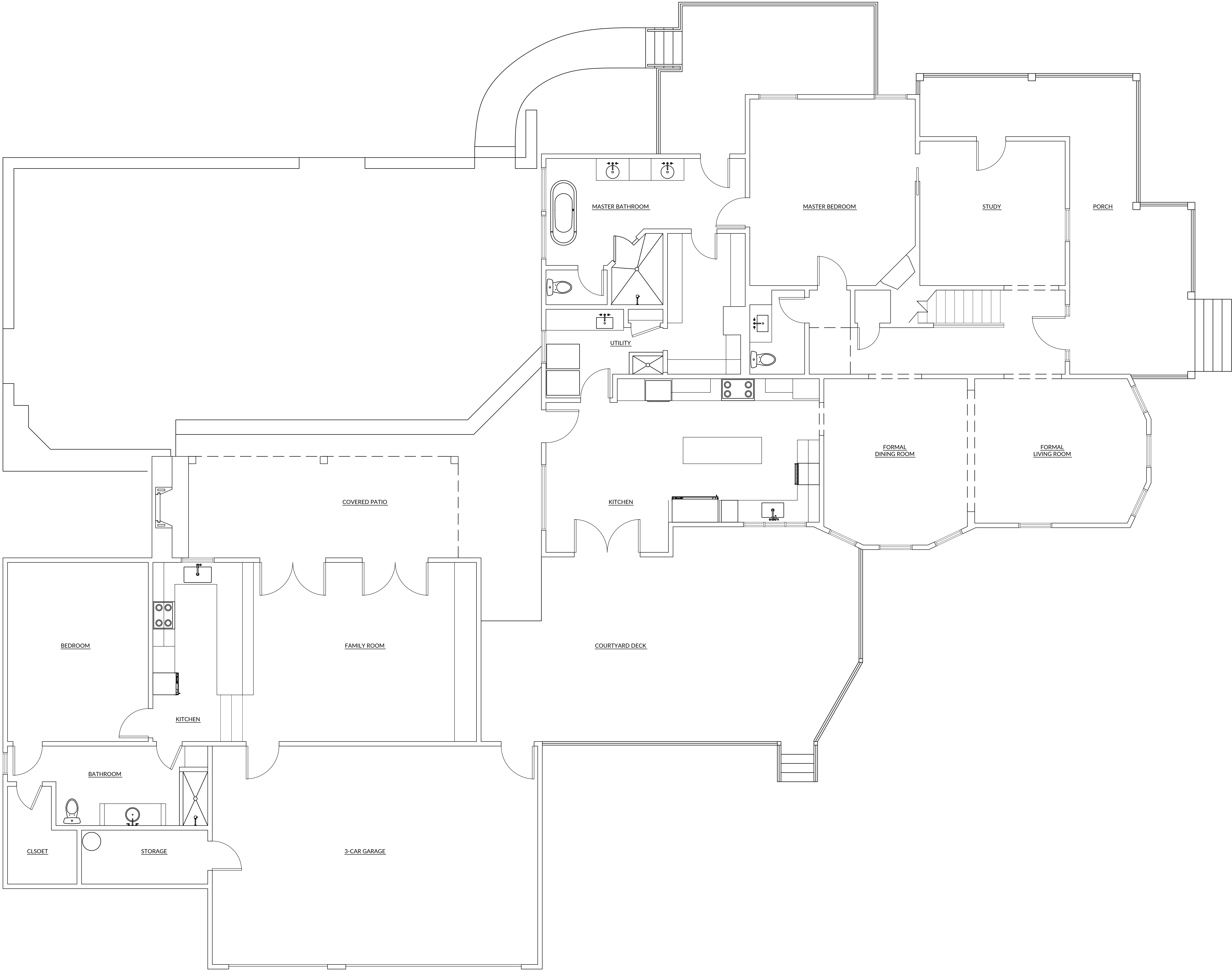
DRAWING ABBREVIATIONS

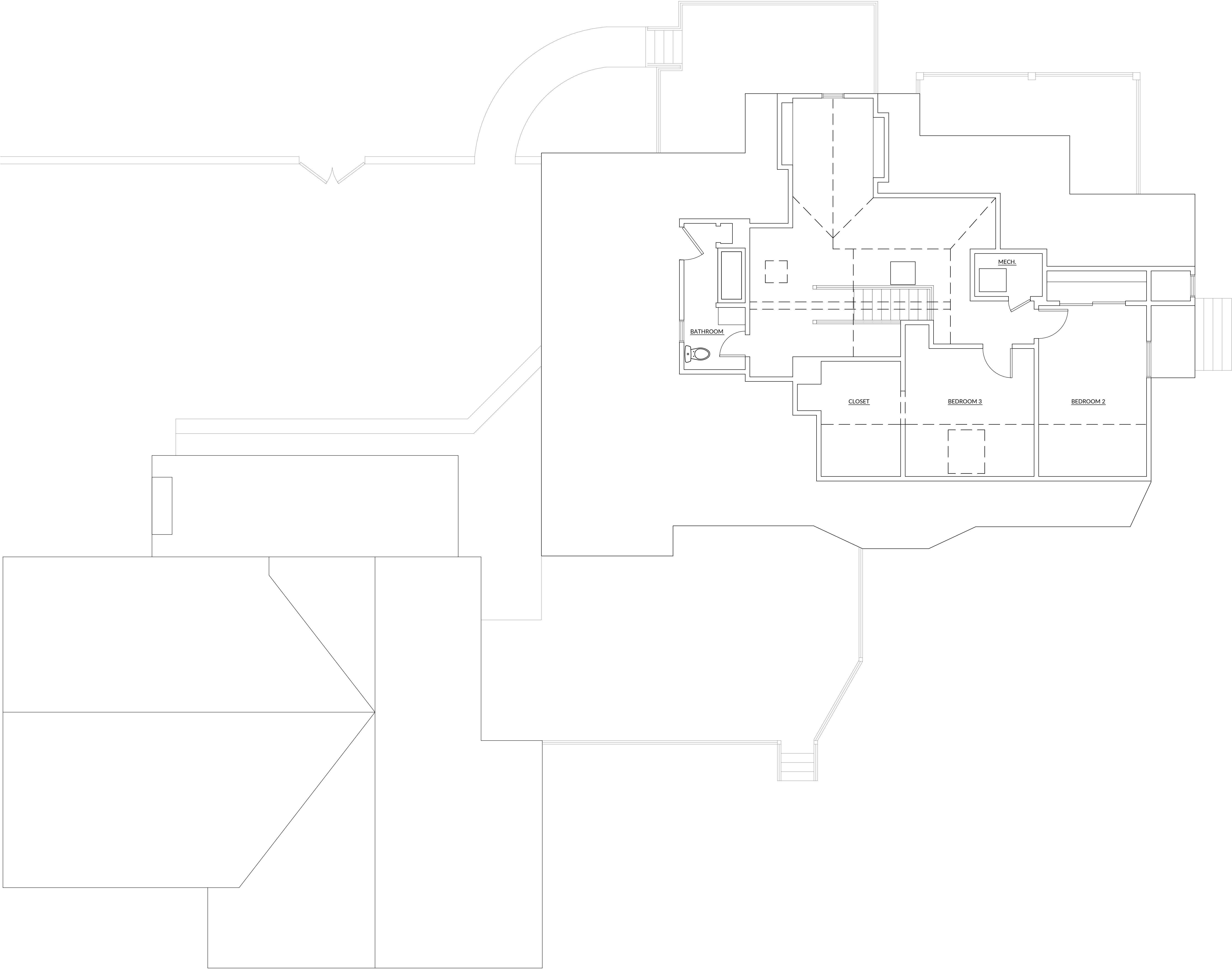
A.F.F. above finished floor
A/C air conditioned
ADJ. adjustable
AL aluminum
ARCH architectural
B.O. bottom of
B/N between
BD board
BLDG building
CAB cabinet
CJ control joints
CL center line
CLG ceiling
CLO closet
CM centimeter
COL column
CONC concrete
CONT continuous
COORD coordinate
CORR corridor
CW cold water
D deep
D.S. down spout
DIA double
DIM diameter
DIM dimension
DN down
DT detail

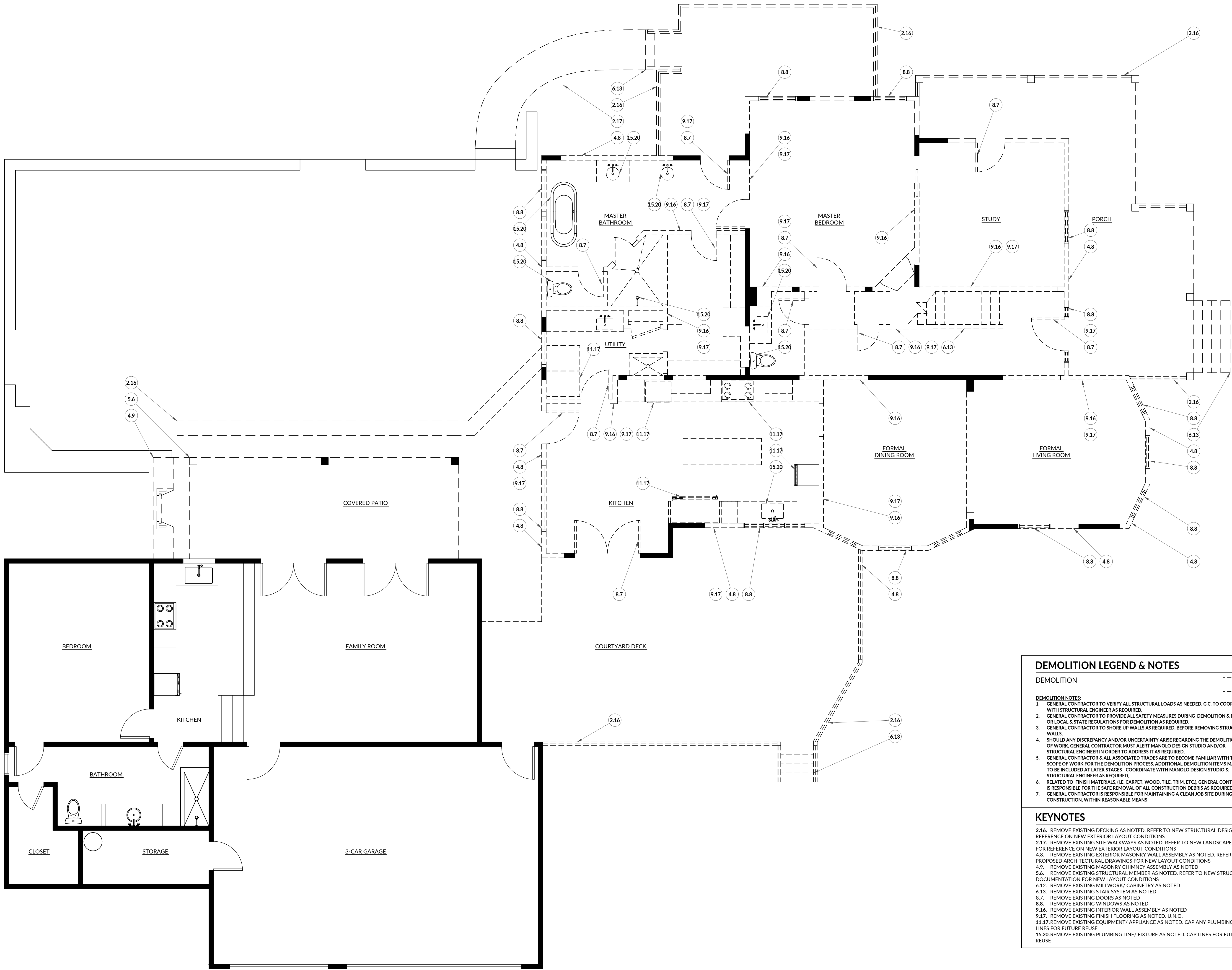
DW drawing
DWG drawer
ELEC electric
ELEV elevation
EQ equal
EQUIP equipment
ESEM estimated
F.F.E. finishes, fixtures & equipment
FL floor
FN finish
FRZ freezer
FT feet
GC general contractor
GFO ground fault interpreter
GL glass
GYP gypsum
GWB gypsum wallboard
H high
HB hose bib
H.C. handicapped
HOR horizontal
HT height
HVAC heating ventilation + air conditioning
HW hot water
IN inch
INSUL insulation
INT interior

JB junction box
L long
LAM laminate
LAV lavatory
LT lights
M meter
MANUF manufacturer
MAX maximum
MECH mechanical
MIN minimum
MISC miscellaneous
MM millimeter
MR mirror
MTL metal
MW microwave
N north
N.I.C. not in contract
N.T.S. not to scale
N/A not applicable
O.H. overhead
OPP opposite
P.B.O. provided by owner
P plate
PLAS plastic
PW plywood
PWDR powder
QTY quantity
R radius

REF reference
REQ required
REV revisions
EM room
SQ.F.T. square footage
SCHED schedule
SD smoke detector
SHLVs shelves
SIM similar
SP speaker
SPEC specification
SPR sprinkler
SQ square
SS solid surface
ST stone
STD







DEMOLITION LEGEND & NOTES

DEMOLITION

DEMOLITION NOTES:

- GENERAL CONTRACTOR TO VERIFY ALL STRUCTURAL LOADS AS NEEDED. G.C. TO COORDINATE WITH STRUCTURAL ENGINEER AS REQUIRED.
- GENERAL CONTRACTOR TO PROVIDE ALL SAFETY MEASURES DURING DEMOLITION & FOLLOW OR LOCAL & STATE REGULATIONS FOR DEMOLITION AS REQUIRED.
- GENERAL CONTRACTOR TO SHORE UP WALLS AS REQUIRED, BEFORE REMOVING STRUCTURAL WALLS.
- SHOULD ANY DISCREPANCY AND/OR UNCERTAINTY ARISE REGARDING THE DEMOLITION SCOPE OF WORK, GENERAL CONTRACTOR MUST ALERT MANOLO DESIGN STUDIO AND/OR STRUCTURAL ENGINEER IN ORDER TO ADDRESS IT AS REQUIRED.
- GENERAL CONTRACTOR & ALL ASSOCIATED TRADES ARE TO BECOME FAMILIAR WITH THE FULL SCOPE OF WORK FOR THE DEMOLITION PROCESS. ADDITIONAL DEMOLITION ITEMS MAY NEED TO BE INCLUDED AT LATER STAGES - COORDINATE WITH MANOLO DESIGN STUDIO & STRUCTURAL ENGINEER AS REQUIRED.
- RELATED TO FINISH MATERIALS, (I.E. CARPET, WOOD, TILE, TRIM, ETC.), GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFE REMOVAL OF ALL CONSTRUCTION DEBRIS AS REQUIRED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN JOB SITE DURING CONSTRUCTION, WITHIN REASONABLE MEANS

KEYNOTES

- 2.16. REMOVE EXISTING DECKING AS NOTED. REFER TO NEW STRUCTURAL DESIGN FOR REFERENCE ON NEW EXTERIOR LAYOUT CONDITIONS
2.17. REMOVE EXISTING SITE WALKWAYS AS NOTED. REFER TO NEW LANDSCAPE DESIGN FOR REFERENCE ON NEW EXTERIOR LAYOUT CONDITIONS
4.8. REMOVE EXISTING EXTERIOR MASONRY WALL ASSEMBLY AS NOTED. REFER TO PROPOSED ARCHITECTURAL DRAWINGS FOR NEW LAYOUT CONDITIONS
4.9. REMOVE EXISTING MASONRY CHIMNEY ASSEMBLY AS NOTED
5.6. REMOVE EXISTING STRUCTURAL MEMBER AS NOTED. REFER TO NEW STRUCTURAL DOCUMENTATION FOR NEW LAYOUT CONDITIONS
6.12. REMOVE EXISTING MILLWORK/ CABINETRY AS NOTED
6.13. REMOVE EXISTING STAIR SYSTEM AS NOTED
8.7. REMOVE EXISTING DOORS AS NOTED
8.8. REMOVE EXISTING WINDOWS AS NOTED
9.16. REMOVE EXISTING INTERIOR WALL ASSEMBLY AS NOTED
9.17. REMOVE EXISTING FINISH FLOORING AS NOTED, U.N.O.
11.17. REMOVE EXISTING EQUIPMENT/ APPLIANCE AS NOTED. CAP ANY PLUMBING/ GAS LINES FOR FUTURE REUSE
15.20. REMOVE EXISTING PLUMBING LINE/ FIXTURE AS NOTED. CAP LINES FOR FUTURE REUSE

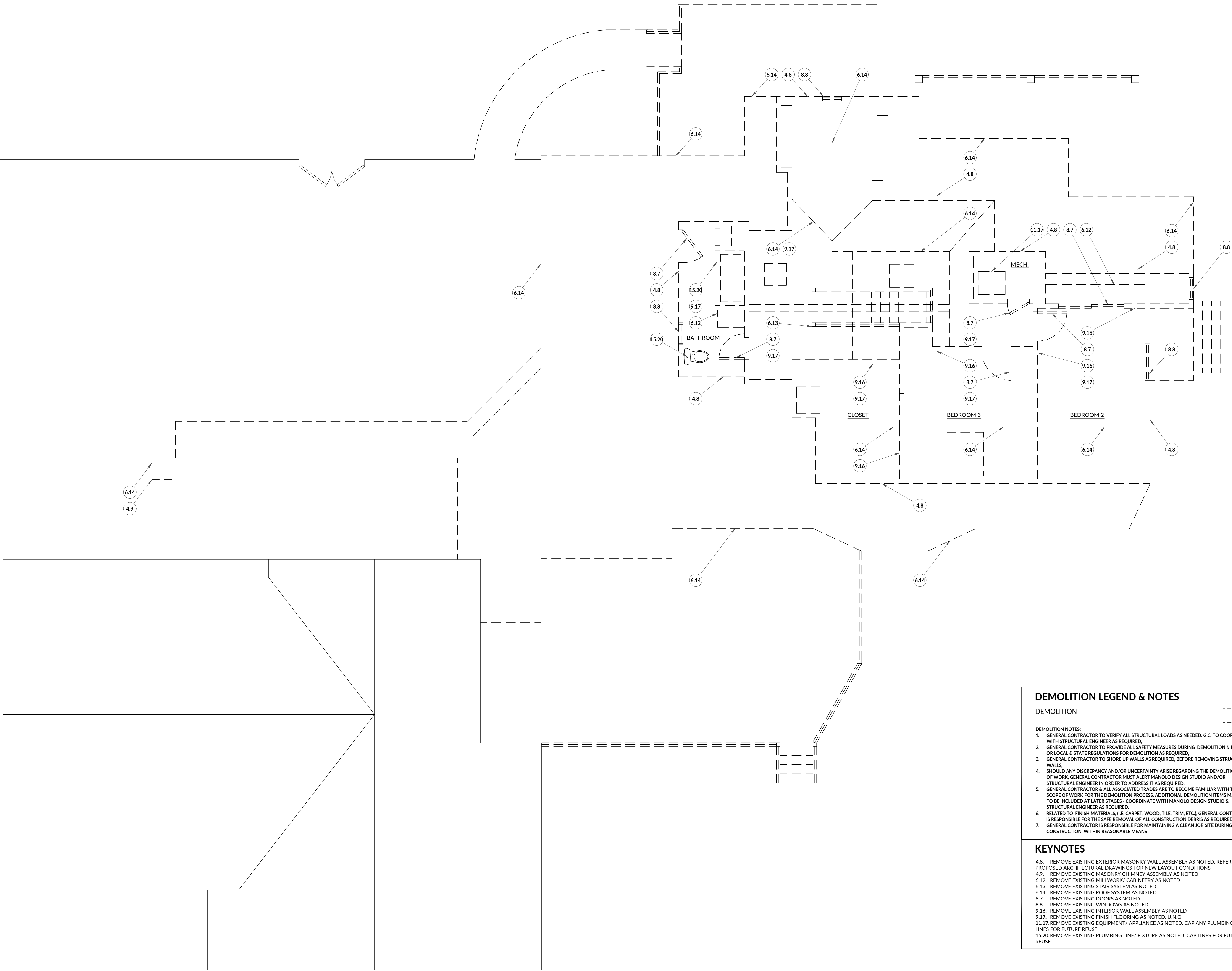
DEMOLITION LEGEND & NOTES

DEMOLITION

DEMOLITION NOTES:
1. GENERAL CONTRACTOR TO VERIFY ALL STRUCTURAL LOADS AS NEEDED. G.C. TO COORDINATE WITH STRUCTURAL ENGINEER AS REQUIRED.
2. GENERAL CONTRACTOR TO PROVIDE ALL SAFETY MEASURES DURING DEMOLITION & FOLLOW OR LOCAL & STATE REGULATIONS FOR DEMOLITION AS REQUIRED.
3. GENERAL CONTRACTOR TO SHORE UP WALLS AS REQUIRED, BEFORE REMOVING STRUCTURAL WALLS.
4. SHOULD ANY DISCREPANCY AND/OR UNCERTAINTY ARISE REGARDING THE DEMOLITION SCOPE OF WORK, GENERAL CONTRACTOR MUST ALERT MANOLO DESIGN STUDIO AND/OR STRUCTURAL ENGINEER IN ORDER TO ADDRESS IT AS REQUIRED.
5. GENERAL CONTRACTOR & ALL ASSOCIATED TRADES ARE TO BECOME FAMILIAR WITH THE FULL SCOPE OF WORK FOR THE DEMOLITION PROCESS. ADDITIONAL DEMOLITION ITEMS MAY NEED TO BE INCLUDED AT LATER STAGES - COORDINATE WITH MANOLO DESIGN STUDIO & STRUCTURAL ENGINEER AS REQUIRED.
6. RELATED TO FINISH MATERIALS (I.E. CARPET, WOOD, TILE, TRIM, ETC.), GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFE REMOVAL OF ALL CONSTRUCTION DEBRIS AS REQUIRED.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN JOB SITE DURING CONSTRUCTION, WITHIN REASONABLE MEANS

KEYNOTES

4.8. REMOVE EXISTING EXTERIOR MASONRY WALL ASSEMBLY AS NOTED. REFER TO PROPOSED ARCHITECTURAL DRAWINGS FOR NEW LAYOUT CONDITIONS
4.9. REMOVE EXISTING MASONRY CHIMNEY ASSEMBLY AS NOTED
6.12. REMOVE EXISTING MILLWORK/ CABINETRY AS NOTED
6.13. REMOVE EXISTING STAIR SYSTEM AS NOTED
6.14. REMOVE EXISTING ROOF SYSTEM AS NOTED
8.7. REMOVE EXISTING DOORS AS NOTED
8.8. REMOVE EXISTING WINDOWS AS NOTED
9.16. REMOVE EXISTING INTERIOR WALL ASSEMBLY AS NOTED
9.17. REMOVE EXISTING FINISH FLOORING AS NOTED, U.N.O.
11.17.REMOVE EXISTING EQUIPMENT/ APPLIANCE AS NOTED. CAP ANY PLUMBING/ GAS LINES FOR FUTURE REUSE
15.20.REMOVE EXISTING PLUMBING LINE/ FIXTURE AS NOTED. CAP LINES FOR FUTURE REUSE



FOUNDATION NOTES

1. REFER TO STRUCTURAL PLANS. THIS PLAN IS DIMENSIONAL FOUNDATION INFORMATION ONLY WITH ARCHITECTURAL DETAILS AND INFORMATION
2. ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE
3. OBJECTS THAT APPEAR TO BE IN ALIGNMENT SHOULD BE ASSUMED TO BE IN ALIGNMENT, UNLESS NOTED OTHERWISE
4. VERIFY THE LOCATION OF ALL APPLIANCES, PLUMBING FIXTURES AND ELECTRICAL FLOOR OUTLETS. REFERENCE INTERIOR DRAWING SHEETS
5. VERIFY ALL TOP OF STEM AND RETAINING WALLS WITH CIVIL AND EXISTING CONDITIONS

MATERIAL LEGEND

- SLAB
- PIER & BEAM

GENERAL NOTE: ONLY AREAS SHOWN W/ A HATCH ARE TO BE CONSIDERED FOR POUR/ SLAB APPLICATION. G.C. TO COORDINATE W/ ARCHITECT FOR FURTHER REFERENCE BEFORE POUR.

MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206

T: 214.501.4984
E: info@manolodesignstudio.com

MANOLODESIGNSTUDIO.COM

URBANOLOGY
DESIGNS

URBANOLOGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182

T: 972.538.3579
E: hello@urbanologydesigns.com

URBANOLOGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE

13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY

These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

DRAWN BY: LB

PROJECT NO: 24004

PROJECT ISSUE DATE: TBD

DRAWING TITLE:

SLAB PLAN

SCALE:

As indicated

DRAWING NUMBER:

0' 4' 8' 16'



A1.0

1 SLAB PLAN
SCALE: 0' - 3/16" = 1' - 0"

1ST STORY	5,669.00 SQ.FT.
2ND STORY	3,215.00 SQ.FT.
TOTAL	6,949.00 SQ.FT.
 GARAGE	 993.00 SQ.FT.
PORCHES	2,788.00 SQ.FT.
TOTAL STRUCTURE	10,730.00 SQ.FT.



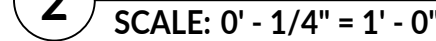
All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect. Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

13519 LAMBERT LANE
KELLER, TEXAS 76262

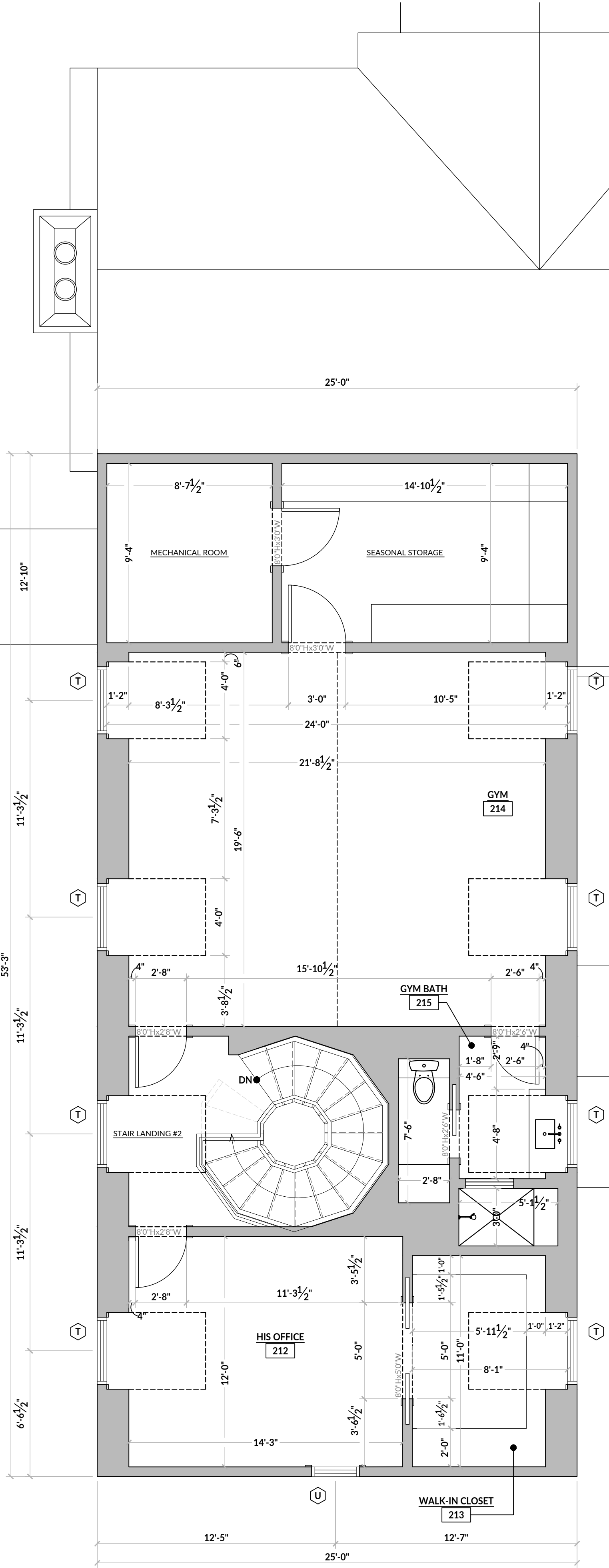
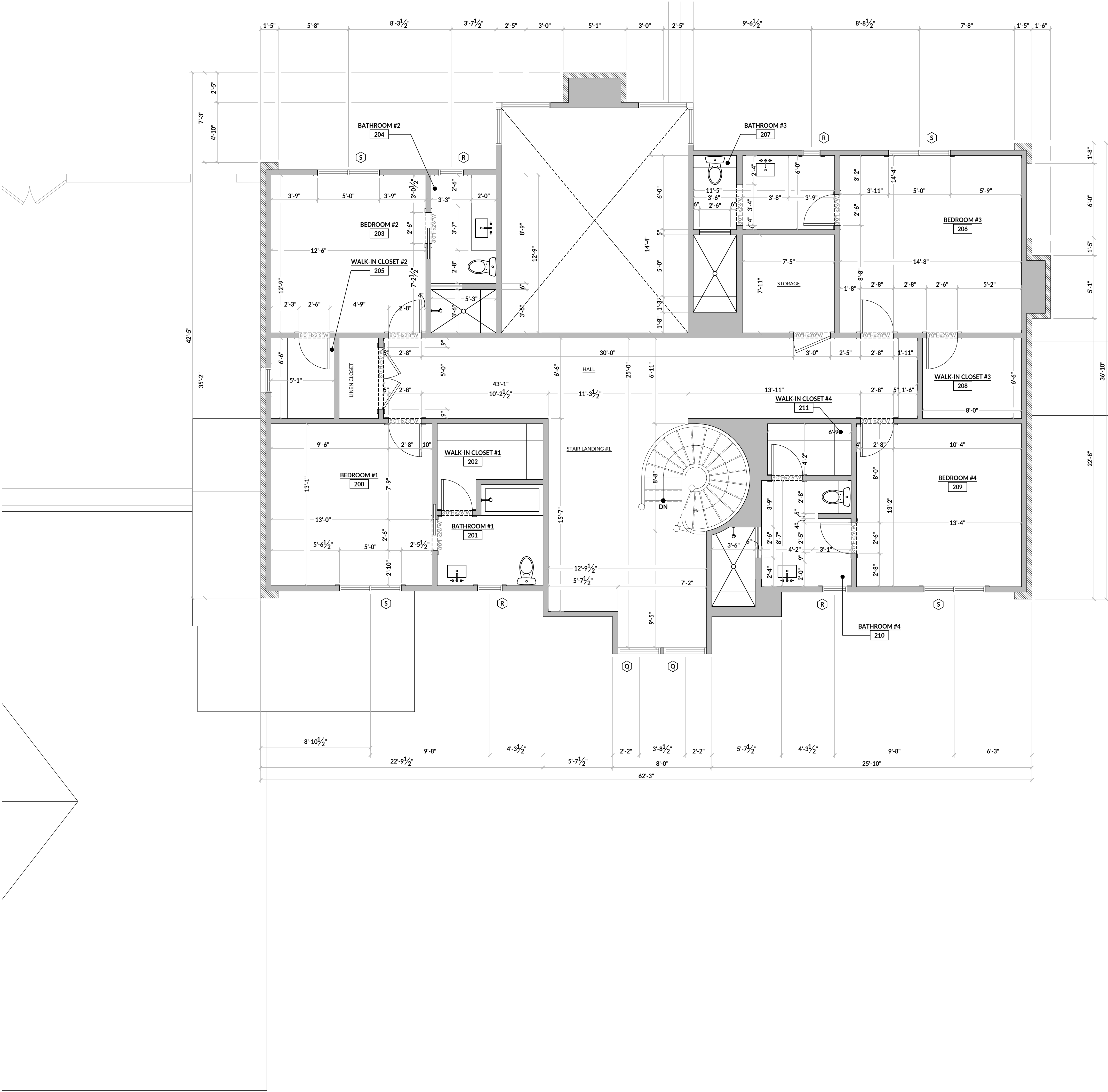
SCALE: As indicated

A1.1a

TOTAL STRUCTURE	10,730.00 SQ.FT.
------------------------	-------------------------



A1.1b



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206
T: 214.501.4984
E: info@manolodesignstudio.com
MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182
T: 972.538.3579
E: hello@urbanologydesigns.com
URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE
13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY
These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:	
DRAWN BY:	LB
PROJECT NO:	24004
PROJECT ISSUE DATE:	TBD
DRAWING TITLE:	

2ND FLOOR PLAN

SCALE:
As indicated
DRAWING NUMBER:

INTERIM REVIEW ONLY

These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

DRAWN BY: LB

PROJECT NO: 24004

PROJECT ISSUE DATE: **TBD**

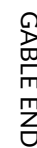
DRAWING TITLE:

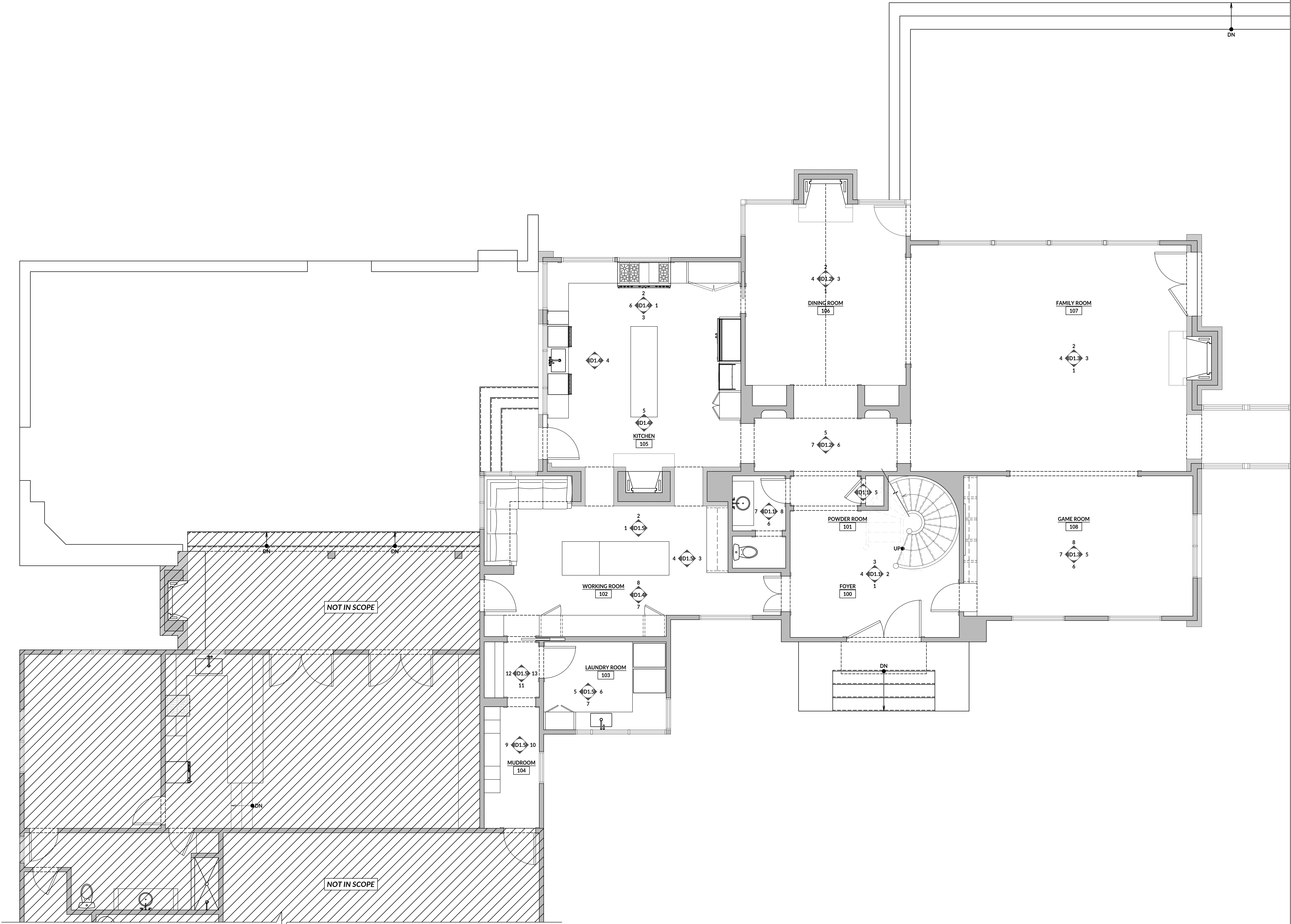
ROOF FLOOR PLAN

SCALE:

As indicated

DRAWING NUMBER:





CUT LINE ONLY IMPACTS AREAS OF THE BUILDING NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PERMIT APPLICATION

CURTIS RESIDENCE

13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY

These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA

ARCH. REG. NO.: 29491

Date: 5.1.2024

REVISIONS:

DRAWN BY:

LB

PROJECT NO:

24004

PROJECT ISSUE DATE:

TBD

DRAWING TITLE:

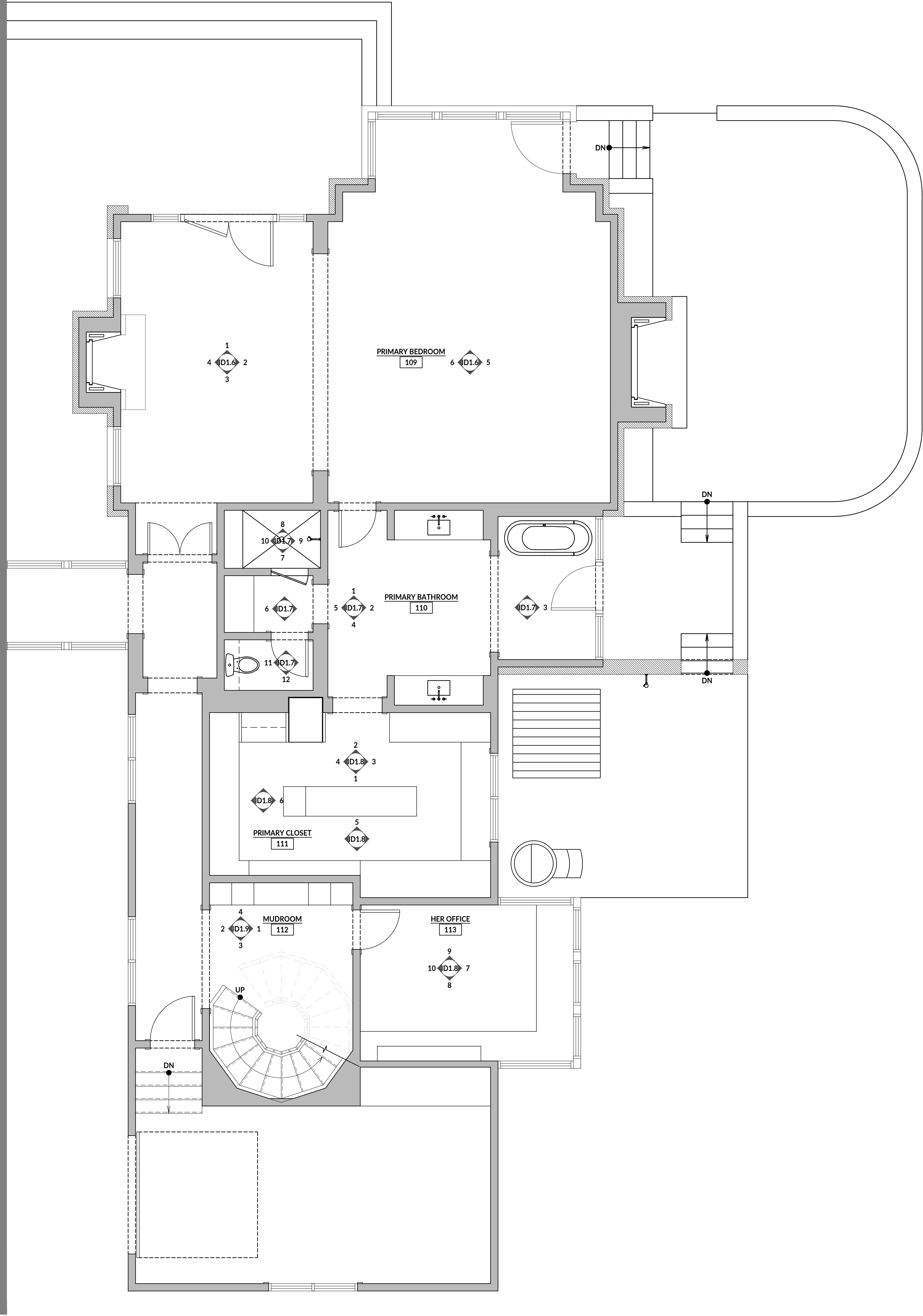
1ST FLOOR PLAN
KEYNOTES &
CONSTRUCTION NOTES

SCALE:

As indicated

DRAWING NUMBER:

PARTIAL FLOOR PLAN VIEW. REFER TO VIEW 1/A1.5a FOR REST OF FLOOR PLAN VIEW



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206
T: 214.501.4984
E: info@manolodesignstudio.com
MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182
T: 972.538.3579
E: hello@urbanologydesigns.com
URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE
13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY
These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

DRAWN BY: LB

PROJECT NO: 24004

PROJECT ISSUE DATE: TBD

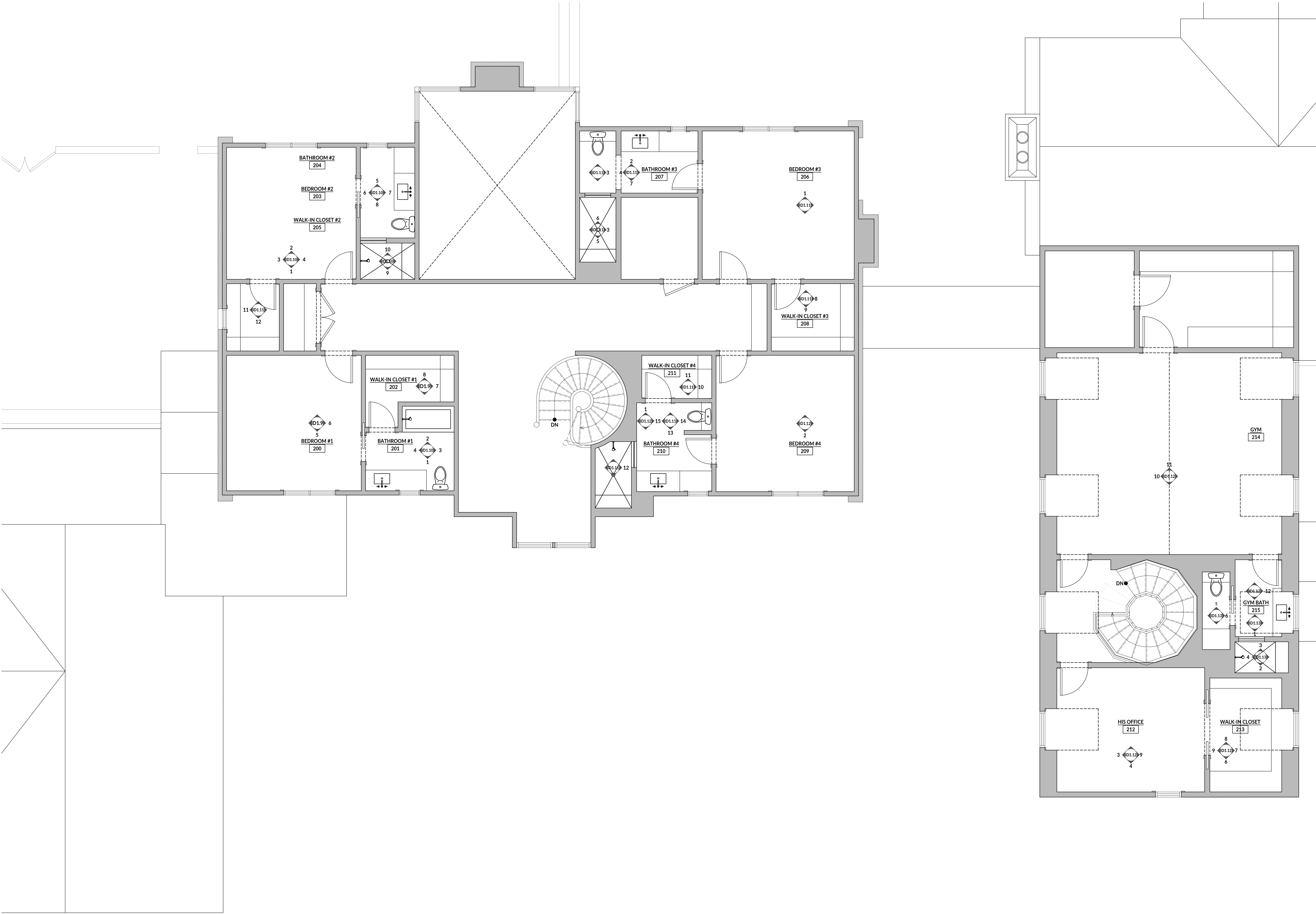
DRAWING TITLE:

1ST FLOOR PLAN
KEYNOTES &
CONSTRUCTION NOTES

SCALE: As indicated

DRAWING NUMBER:

A1.5b



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206
T: 214.501.4984
E: info@manolodesignstudio.com
MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182
T: 972.538.3579
E: hello@urbanologydesigns.com
URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE
13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY
These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

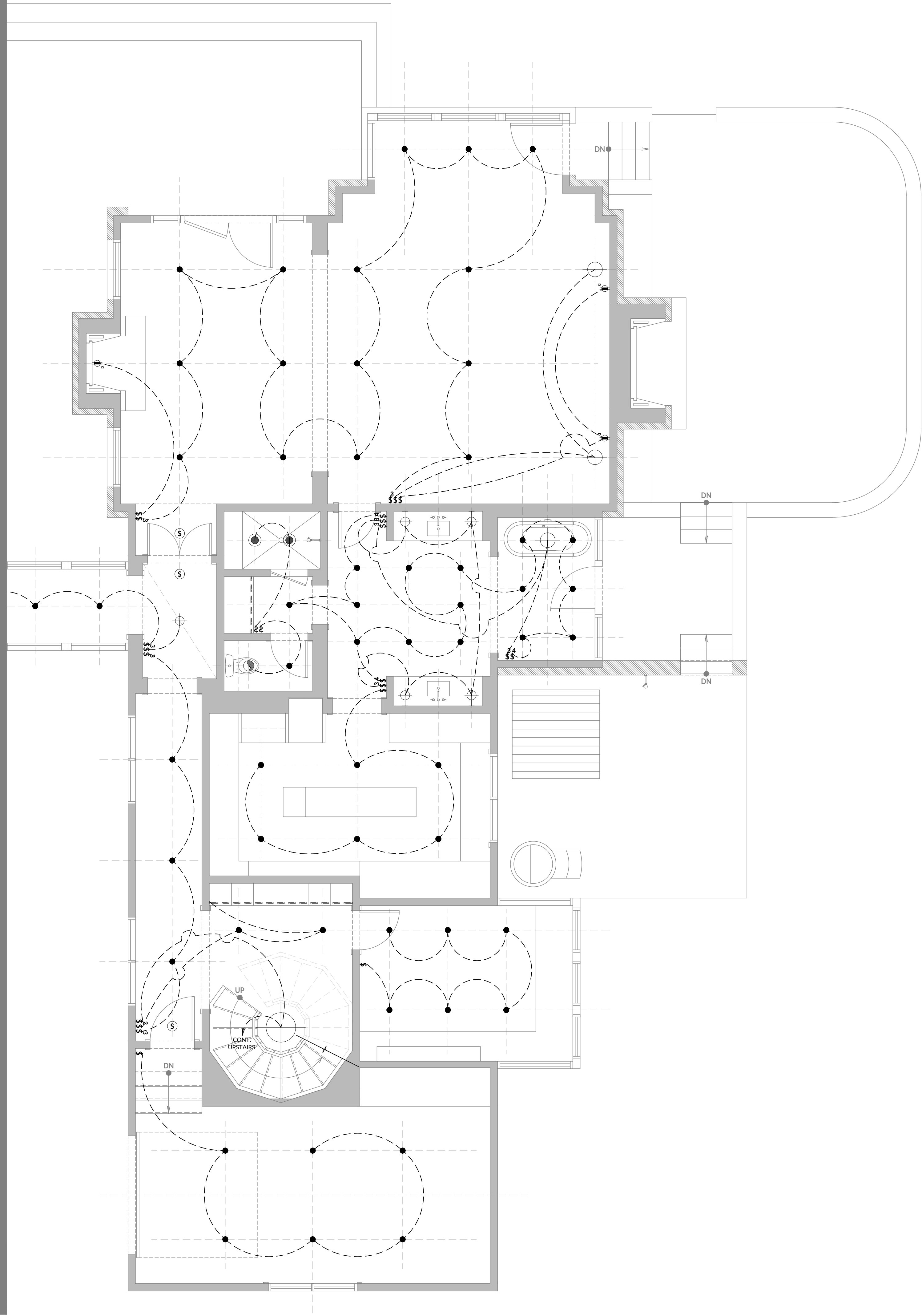
REVISIONS:

DRAWN BY: LB
PROJECT NO: 24004
PROJECT ISSUE DATE: TBD
DRAWING TITLE:

2ND FLOOR PLAN
KEYNOTES &
CONSTRUCTION NOTES

SCALE:
As indicated
DRAWING NUMBER:

PARTIAL FLOOR PLAN VIEW. REFER TO VIEW 1/E1.1a FOR REST OF FLOOR PLAN VIEW



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206

T: 214.501.4984
E: info@manolodesignstudio.com

MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182

T: 972.538.3579
E: hello@urbanologydesigns.com

URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE

13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY

These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA

ARCH. REG. NO.: 29491

Date: 5.1.2024

REVISIONS:

DRAWN BY: LB

PROJECT NO: 24004

PROJECT ISSUE DATE: TBD

DRAWING TITLE:

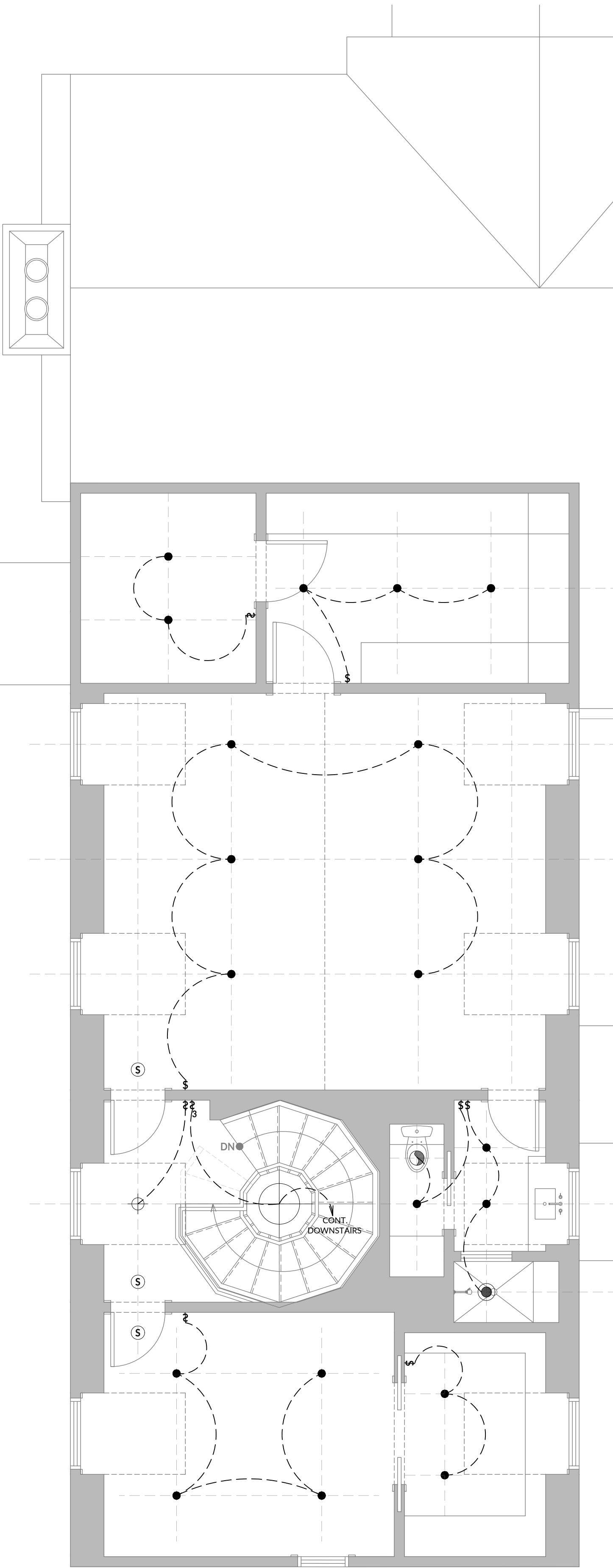
1ST FLOOR
ELECTRICAL PLAN

SCALE:

As indicated

DRAWING NUMBER:

E1.1b



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206
T: 214.501.4984
E: info@manolodesignstudio.com
MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182
T: 972.538.3579
E: hello@urbanologydesigns.com
URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE
13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY
These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

DRAWN BY: LB
PROJECT NO: 24004
PROJECT ISSUE DATE: TBD
DRAWING TITLE:

2ND FLOOR
ELECTRICAL PLAN

SCALE:
As indicated
DRAWING NUMBER:

13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY
These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

DRAWN BY: J.B.

PROJECT NO: 24004

PROJECT ISSUE DATE: _____

DRAWING TITLE:

1ST FLOOR POWER PLAN

SCALE:

As indicated

DRAWING NUMBER:

E1.3a

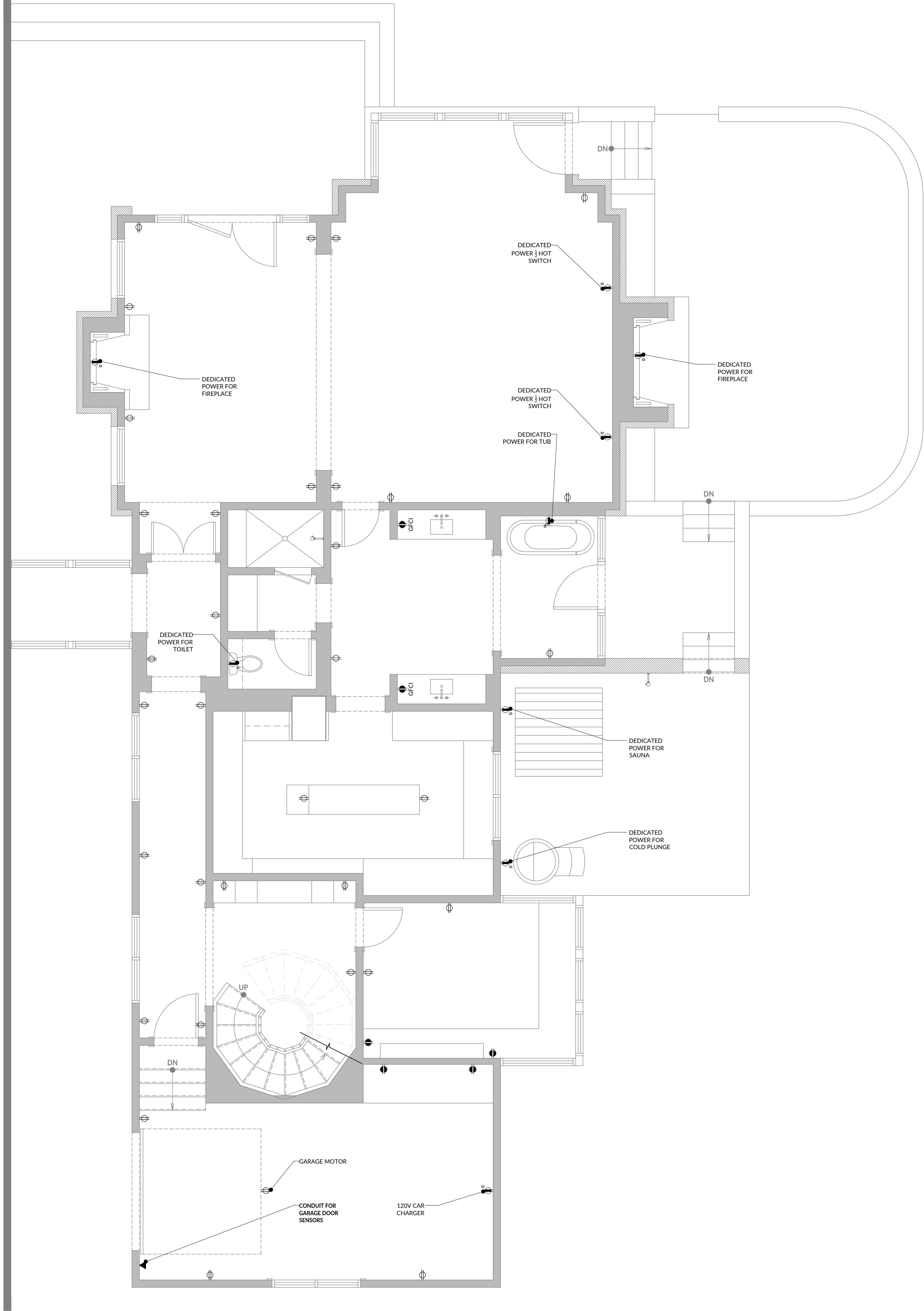
PARTIAL FLOOR PLAN VIEW. REFER TO VIEW 1/A1.1b FOR REST OF FLOOR PLAN VIEW

CUT LINE ONLY IMPACTS AREAS OF THE BUILDING NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PERMIT APPLICATION

1 FIRST FLOOR PLAN - DIMENSIONS
SCALE: 0' - 1/4" = 1' - 0"



PARTIAL FLOOR PLAN VIEW. REFER TO VIEW 1/A1.1a FOR REST OF FLOOR PLAN VIEW



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206

T: 214.501.4984
E: info@manolodesignstudio.com

MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182

T: 972.538.3579
E: hello@urbanologydesigns.com

URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE
13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY

These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

DRAWN BY: LB

PROJECT NO: 24004

PROJECT ISSUE DATE: TBD

DRAWING TITLE:

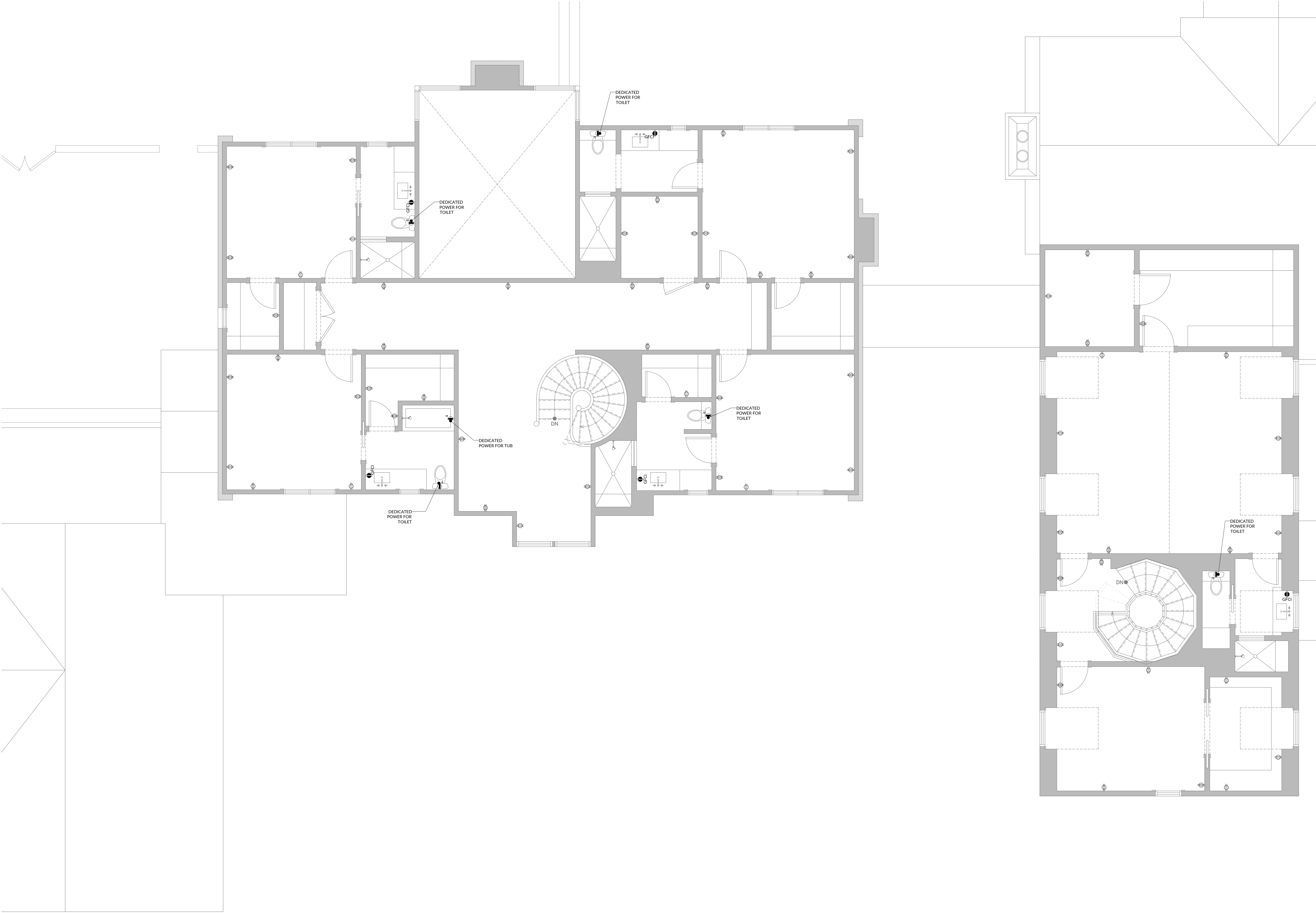
1ST FLOOR POWER
PLAN

SCALE:

As indicated

DRAWING NUMBER:

E1.3b



MANOLO
DESIGN
STUDIO

MANOLO DESIGN STUDIO
4925 GREENVILLE AVE., STE. 350
DALLAS, TX 75206
T: 214.501.4984
E: info@manolodesignstudio.com
MANOLODESIGNSTUDIO.COM

UD
URBANOLGY
DESIGNS

URBANOLGY DESIGNS
8300 STARNES RD.
NORTH RICHLAND HILLS, TX 76182
T: 972.538.3579
E: hello@urbanologydesigns.com
URBANOLGYDESIGNS.COM

All reports, drawings, specifications, computer files, field data, general notes, notes, other documents & instruments prepared by the Architect as instruments of service, shall remain the property of the Architect, Manolo Design Studio LLC. The Architect shall retain all common law, statutory and other supervised rights, including copyright thereto. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method is prohibited without written consent from Manolo Design Studio LLC. © 2023

CURTIS RESIDENCE
13519 LAMBERT LANE
KELLER, TEXAS 76262

INTERIM REVIEW ONLY
These documents are incomplete, and are released for preliminary bid only and are not intended for regulatory approval, permit or construction purposes.

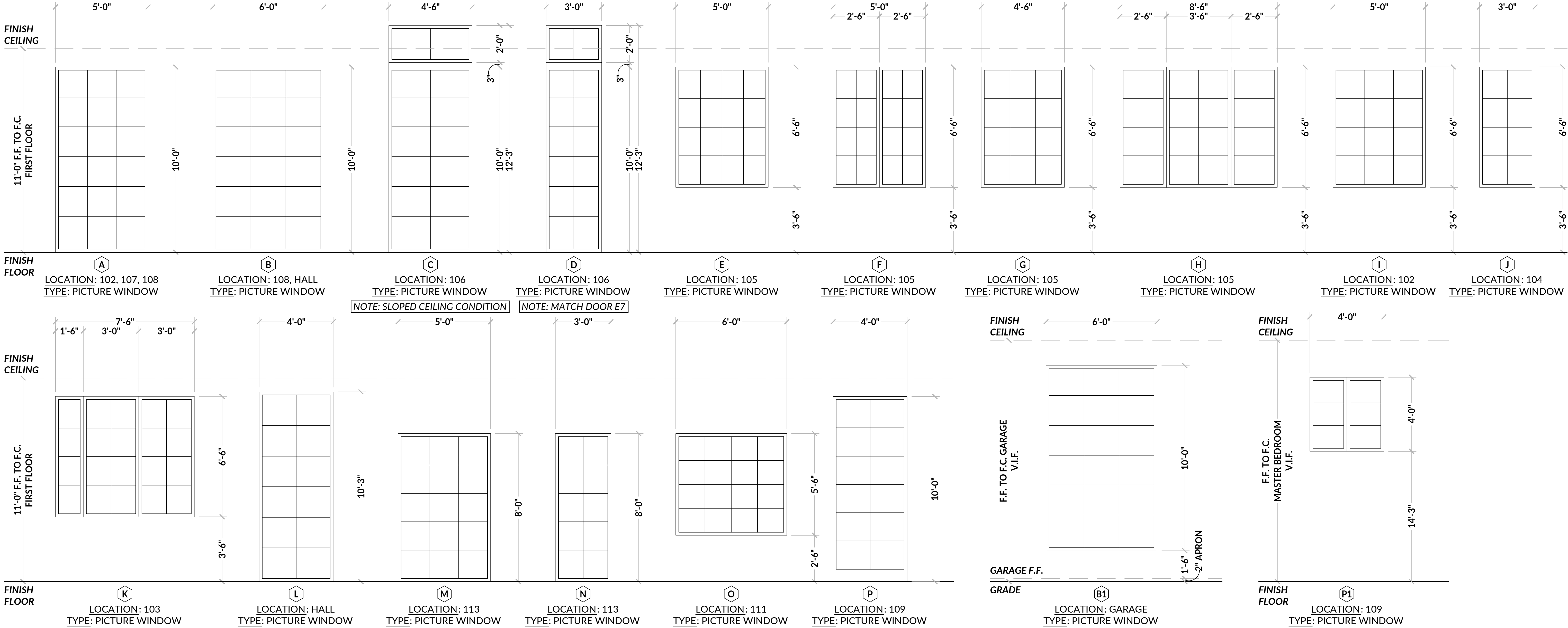
ARCHITECT: MANOLO BANDA
ARCH. REG. NO.: 29491
Date: 5.1.2024

REVISIONS:

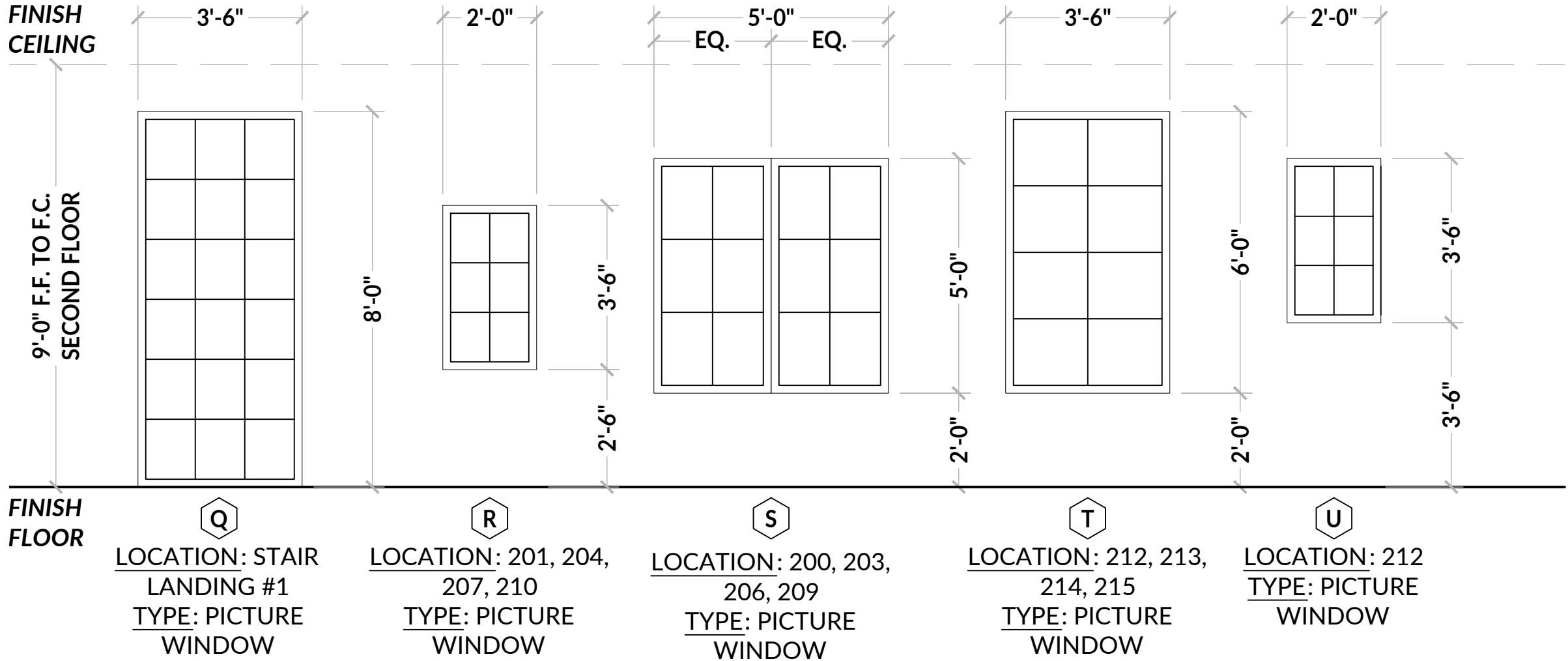
DRAWN BY: LB
PROJECT NO: 24004
PROJECT ISSUE DATE: TBD
DRAWING TITLE:

2ND FLOOR POWER
PLAN

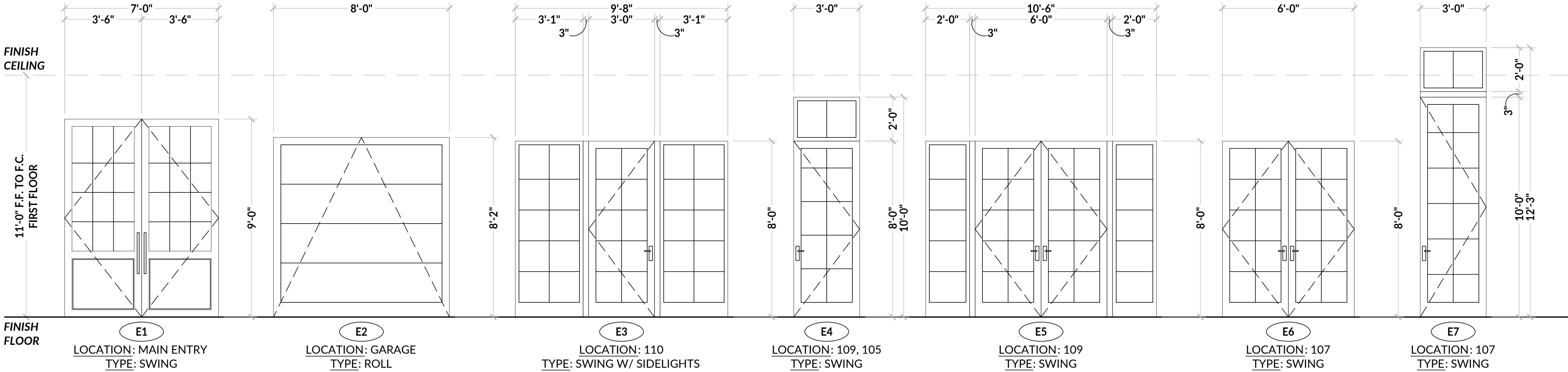
SCALE: As indicated
DRAWING NUMBER:



B WINDOW SCHEDULE, GENERAL INFORMATION & REQUIREMENTS
SCALE: 0' - 3/8" = 1' - 0"



A DOOR SCHEDULE
SCALE: 0' - 3/8" = 1' - 0"



A DOOR SCHEDULE
SCALE: 0' - 3/8" = 1' - 0"

NOTE: MATCH WINDOW TYPE D
NOTE: SLOPED CEILING CONDITION